

TOWN OF GOLDEN BEACH, FLORIDA

RESOLUTION NO. 3066.26

A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING VARIANCE REQUESTS FOR PROPERTY LOCATED AT 317 OCEAN BLVD., GOLDEN BEACH, FLORIDA 33160. TO PERMIT PORTIONS OF THE MAIN RESIDENCE TO BE PLACED CLOSER TO THE FRONT LOT LINE ABUTTING OCEAN BLVD., TO PERMIT THE NORTHERN STRUCTURE TO BE CONSTRUCTED 41.6' FROM THE FRONT LOT LINE AND THE SOUTHERN STRUCTURE 46.2' FROM THE LOT LINE, WHERE A MINIMUM 60' SETBACK IS REQUIRED.

WHEREAS, the applicant, Ronald N Tutor Trs. ("the applicant"), filed a Petition for Variances/exceptions, 1). Section 66.69.1(f)(1) Main Residence. No portion of any primary residential structure shall be placed closer to the west "front" lot line abutting Ocean Boulevard than 60 feet.

WHEREAS, the Town Council approved the applicant's request to allow the northern portion of the main residence to be expanded west to 41.6' and the southern structure to 46.2' from the west 'front' property line, when 60' are required.

WHEREAS, these variances and exceptions are for the property at 317 Ocean Blvd., Golden Beach, FL. 33160 (Golden Beach Section "B", Lot 15, 16, 17, Block B, as recorded in PB 9-52, of the Public Records of Miami-Dade County, (Folio No. 19-1235-002-0460 (the "Property") and.

WHEREAS, the Town's Building Regulation Advisory Board held an advertised public hearing on the Petition for Variance/Exception and recommended denial of the front setback variance by the Town Council; and,

WHEREAS, a public hearing of the Town Council was advertised and held, as required by law, and all interested parties were given an opportunity to be heard; and

WHEREAS, the Town Council, having considered the evidence presented, finds that the Petition of Variance meets the criteria of the applicable codes and ordinances to the extent the application is granted herein.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:

Section 1. Recitals Adopted. Each of the above-stated recitals are hereby adopted and confirmed.

Section 2. Approval. The Petition for Variance to permit each of the requested variances/exception is hereby granted.

Section 3. Conditions. The Petition for Exception/Variance, as granted, is subject to the following conditions:

- (1) Applicant shall record a certified copy of this Resolution in the public records of Miami-Dade County; and the construction shall be completed substantially in accordance with those certain plan pages A-000 through V-002 by Richard F. Sammons., dated 2/23/2026, Boundary Survey, dated 4/15/2025 by Gunter Group, Orlando Ortiz LS 4312, for the property located at 317 Ocean Blvd., Golden Beach, FL. 33160

Section 4. Implementation. That the Building and Zoning Director is hereby directed to make the necessary notations upon the maps and records of the Town of Golden Beach Building and Zoning Department and to issue all permits in

accordance with the terms and conditions of this Resolution. A copy of this Resolution shall be attached to the building permit application documents.

Section 5. Effective Date. This Resolution shall be effective immediately upon adoption.

Sponsored by Administration.

The Motion to adopt the foregoing Resolution was offered by Councilmember Lusskin, seconded by Vice Mayor Mendal, and on roll call, the following vote ensued:

Mayor Glenn Singer	<u>Aye</u>
Vice Mayor Jessie Mendal	<u>Aye</u>
Councilmember Kenneth Bernstein	<u>Aye</u>
Councilmember Judy Lusskin	<u>Aye</u>
Councilmember Bernard Einstein	<u>Aye</u>

PASSED AND ADOPTED by the Town Council of the Town of Golden Beach, Florida, this 21st day of April, 2026.



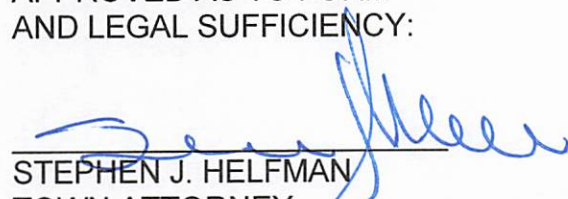
MAYOR GLENN SINGER

ATTEST:



LISSETTE PEREZ
TOWN CLERK

APPROVED AS TO FORM AND LEGAL SUFFICIENCY:



STEPHEN J. HELFMAN
TOWN ATTORNEY



TOWN OF GOLDEN BEACH

100 Ocean Blvd.
Golden Beach, FL 33160

MEMORANDUM

Date: April 21, 2026

To: Honorable Mayor Glenn Singer &
Town Council Members

From: Alexander Diaz,
Town Manager

Subject: Resolution No. 3066.26 – Variance Request for 317 Ocean Blvd, Golden Beach, FL 33160 (Seeking relief from front setback requirements).

Item Number:

3

Recommendation:

It is recommended that the Town Council allow the applicant the opportunity to seek approval of the variance request presented in Resolution No. 3066.26.

Background and History:

The applicant is requesting a variance from Town Code Sections 66-69.1(f)(1)

The variance request seeks approval from the zone 1 required 60'-0" front setback. To allow portions of the primary residential structure to be placed closer to the west 'front' lot line abutting Ocean Boulevard.

The variance request is to allow the existing north garage to be expanded to have a front setback of 41.6', and the south garage to be expanded to have a front setback of 46.2'.

The Building Regulation Advisory Board considered the variance request at its meeting on March 10, 2026. A motion to recommend approval was made; the motion failed by a vote of 3-0.

Attachments:

- Resolution
- Zoning Review – Staff Report
- Notice of Hearing
- Building Regulation Advisory Board Application
- Copy of resident notification listing
- Summary minutes

Financial Impact: None

TOWN OF GOLDEN BEACH
BUILDING AND ZONING DEPARTMENT
MEMORANDUM



TO: Building Regulatory Advisory Board
FROM: Christopher M. Gratz, AICP, Consulting Planner
DATE: March 10th, 2026
SUBJECT: Variances, 317 Ocean Boulevard

GENERAL PROPERTY INFORMATION

Land Use Designation: Low Density Residential
Zoning District: Zone One (1)
Address: 317 Ocean Boulevard
Legal Description: Lots 15, 16, 17, in Block "B" of "Golden Beach, According to the Plat thereof, as recorded in Plat Book 9, Page 52 of the Public Records of Miami-Dade County.
Lot Information: Full-sized lot, 150' frontage, 230' deep, 38,850 square feet (0.893 acres)

APPLICATION INFORMATION

Owner: Ronald N Tutor TRS, Tutor Marital Property TR, Alia Tutor TRD
Applicant: Richard F. Sammons

REQUEST

Variance #1 FROM: Town Code §66-69.1(f)(1) Main Residence. Which states that no portion of any primary residential structure shall be placed closer to the west "front" lot line abutting Ocean Boulevard than 60';

TO: allow the existing north garage to be expanded to have a front setback of 41.6', and the south garage to be expanded to have a front setback of 46.2';

Variance #2 FROM: Town Code §66-69.1(h)(1)(c) which requires all residences designed as two-story structures shall be required to increase the side Setbacks along two-thirds of the length of the second story by one foot for each one foot (1:1) of building height above the first 18';

TO: to allow for the Side Yard Setback along the second story of 10' as opposed to the minimum 22' on the north side of the property; and to allow the Side Yard Setback along the second story of 14' as opposed to the minimum 22' on the south side of the property;

HISTORY

The property contains an 11,722 sq. ft. six (6) bedroom, eight (8) bathroom, two (2) half bathroom, 2-story home constructed 2002 according to the Miami-Dade County Property Appraiser.

APPLICATION DETAILS

The applicant is proposing the following modifications to the property:

- Convert the existing gym to laundry room.
- First Floor addition of 1,678 square feet including additional garages at the west side of the house, an expanded master suite and new media room at the south side of the house, and an expanded kitchen and new loggia on the north side of the residence.
- Second Floor addition of 2,871 square feet including the addition of a staff suite and spa at the west side of the house, an expanded master suite and enclosed staircase and connection at the south side of the house, expanded bedroom #2 suite and an additional third and fourth bedroom suite on the north side of the residence.
- Roof material change from existing flat concrete tile to proposed clay barrel tile.
- Elevations change from existing contemporary early 2000's style to Mediterranean style.
- Gatehouse constructed on the west side of the motor court setback 20.2', along with a new vehicular and pedestrian gate and new site walls to match the existing.

ANALYSIS

DIVISION 2. - VARIANCES

§66-41. - Authorized, general procedure.

(a) The Building Regulation Advisory Board may recommend pursuant to the hearing as provided in §66-42 the granting of a Variance by the Town Council from the terms of the zoning provision of this chapter if it is not contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions will result in unnecessary and undue hardship. In order to recommend any Variance from the terms of this chapter, the Board shall find the following:

(1) The Variance is in fact a Variance from a zoning regulation as set forth within this chapter.

The request is for variances from zoning regulations.

(2) Special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same district.

There are no special conditions impacting this lot or the structures involved that are not applicable to the others in Zone 1.

(3) The special conditions and circumstances do not result from the actions of the applicant.

The request is the result of the applicant's desire to expand the residence.

(4) Granting the Variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands or structures in the same district.

The granting of the variance will confer a special privilege by allowing the owner to have additions to be built approximately 20' closer to the front setback and without the required additional side setbacks.

(5) Literal interpretation of the provisions of this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant

The applicant would not be deprived of any rights enjoyed by other property owners in this district, the home could be expanded within the setbacks.

(6) The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure.

The requested is variances are the minimum the applicant needs to accommodate the desired expansion of the residence.

(7) The granting of the Variance will be in harmony with the general intent and purpose of this chapter and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

The intent of the Town Code is to promote the construction of luxury homes and the applicant proposes expanding the home in what can be described as an architectural cohesive manner. The open "u-shaped" motor court design is being maintained when an addition(s) within the setbacks, which would require the motor court to be greatly modified or eliminated, could be built. When taken into context with the size of the lot and existing residence these additions do not appear to present a detriment to the public; it is up to the judgement of the BRAB and Town Council as to whether the design of the improvements are compatible with existing development, are of cohesive architectural character, and provide sufficient buffering of uses from public property and rights-of-way and adjacent properties.

(b) In recommending the granting of any Variance, the Building Regulation Advisory Board may prescribe appropriate conditions and safeguards in conformity with this Code. Violation of the conditions and safeguards, when made a part of the terms under which the Variance is granted, shall be deemed a violation of the Code of Ordinances. The Building Regulation Advisory Board may prescribe a reasonable time limit wherein the Construction of the structure subject to the Variance is required to be completed.

The deviations from the Code should be limited to the extent shown on the plans associated with this application.

(c) Under no circumstances shall the Building Regulation Advisory Board recommend the granting of a Variance or a use not generally permitted in the district involved or any use expressly or by implication prohibited by the terms of this Code in the district. No nonconforming use of neighboring lands, structures or buildings in the same district and no permitted use of lands, structures or buildings in other districts shall be considered grounds for a Variance.

The request is not for a use variance

RECOMMENDATION

The applicant has failed to provide any substantial competent evidence to support the request and fails to meet the criteria required by the Town Code for the granting of a variance; therefore ***denial*** of the application is recommended.

USPS CERTIFIED MAIL



9214 8901 5960 4200 0498 29

BENJAMIN SHIRAZIPOUR
ANNA SHIRAZIPOUR
275 OCEAN BLVD
GOLDEN BEACH FL 33160-2209

USPS CERTIFIED MAIL



9214 8901 5960 4200 0498 36

JEREMY ALTERS TRS
JEREMY ALTERS REV TRUST AGREEMENT
JEREMY ALTERS
277 OCEAN BLVD
GOLDEN BEACH FL 33160-2209

USPS CERTIFIED MAIL



9214 8901 5960 4200 0498 43

LEIHA MACAULEY TRS
FLORIDA LAND TRUST NO 1GB
1 FEDERAL ST
FL 29
BOSTON MA 02110-2029

USPS CERTIFIED MAIL



9214 8901 5960 4200 0498 50

JAN A MARKS TRS
307 OCEAN BOULEVARD TR
1001 LIBERTY AVE
STE 1150
PITTSBURGH PA 15222-3789

USPS CERTIFIED MAIL



9214 8901 5960 4200 0498 67

RONALD N TUTOR TRS
TUTOR MARITAL PROPERTY TR
ALIA TUTOR TRS
317 OCEAN BLVD
GOLDEN BEACH FL 33160-2211

USPS CERTIFIED MAIL



9214 8901 5960 4200 0498 74

BRUCE WEBER & NAN BUSH
325 OCEAN BLVD
GOLDEN BEACH FL 33160-2211

USPS CERTIFIED MAIL



9214 8901 5960 4200 0498 81

EDITH NEWMAN
355 OCEAN BLVD
GOLDEN BEACH FL 33160-2211

USPS CERTIFIED MAIL



9214 8901 5960 4200 0498 98

CENTRAL PARK TOWER CORP
C/O: JENNIFER LEVIN ESQ
19380 COLLINS AVE
APT 1120
SUNNY ISLES BEACH FL 33160-2237

USPS CERTIFIED MAIL



9214 8901 5960 4200 0499 04

OCEAN BLVD GOLDEN LLC
251 LITTLE FALLS DR
WILMINGTON DE 19808-1674

USPS CERTIFIED MAIL



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AIDA E MARTINEZ (TRUST)
HUGO L & AIDA E MARTINEZ TRS
380 OCEAN BLVD
GOLDEN BEACH FL 33160-2212

USPS CERTIFIED MAIL



9214 8901 5960 4200 0499 28

LINDA G BROWN TRS
LIINDA GAIL BROWN LIVING TRUST
370 OCEAN BLVD
GOLDEN BEACH FL 33160-2212

USPS CERTIFIED MAIL



9214 8901 5960 4200 0499 35

JOSE RAFAEL BADELL
MARIA GRAU
364 OCEAN BLVD
GOLDEN BEACH FL 33160-2212

USPS CERTIFIED MAIL



9214 8901 5960 4200 0499 42

NRE MIAMI CORP
1925 BRICKELL AVE
STE D205
MIAMI FL 33129-2900

USPS CERTIFIED MAIL



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BARRY HONOWITZ TRS
THE BARRY HONOWITZ AND SUE
HONOWITZ REVOCABLE TRUST
429 GOLDEN BEACH DR
GOLDEN BEACH FL 33160-2226

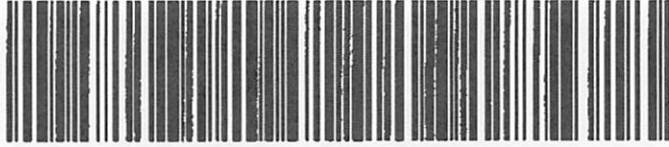
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SHARON LIOR
346 OCEAN BLVD
GOLDEN BEACH FL 33160-2212

USPS CERTIFIED MAIL



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MICHAEL ABRAMOWITZ
DEBBIE ABRAMOWITZ
340 OCEAN BLVD
GOLDEN BEACH FL 33160-2212

USPS CERTIFIED MAIL



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BRUCE WEBER
NAN BUSH
325 OCEAN BLVD
GOLDEN BEACH, FL 33160

USPS CERTIFIED MAIL



9214 8901 5960 4200 0499 97

LUNA ROCK INVESTMENTS LLC
3267 NE 212TH ST
AVENTURA FL 33180-3691

USPS CERTIFIED MAIL



9214 8901 5960 4200 0500 09

BRADLEY JACOB DAYAN TRS
BRADLEY JACOB DAYAN LIVING TR
3300 NE 188TH ST
APT 415
AVENTURA FL 33180-3372

USPS CERTIFIED MAIL



9214 8901 5960 4200 0500 16

MATTHEW ALLEN
288 OCEAN BLVD
GOLDEN BEACH FL 33160-2210

USPS CERTIFIED MAIL



9214 8901 5960 4200 0500 23

VICTORIA LESOV
MATVAY LESOV
3944 194TH TRL
GOLDEN BEACH FL 33160-2283

TOWN OF GOLDEN BEACH BUILDING REGULATORY ADVISORY BOARD APPLICATION and REVIEW PROCEDURE

Thank you for applying to the Building Advisory Board for approval of your project. Below is a brief guideline on how the application review process works and what can be expected. The attached application form contains additional guidelines and information pertinent to your submittal. Please follow all directions contained within the application prior to submitting your package to our office:

Submittal

Submit your completed application package to the Town by the required deadlines which are available on the Town's website at www.goldenbeach.us.

Upon receipt of your application and within the first week after you submit, the Town's zoning and landscape reviewers will perform their first review. Following their review you will receive reports for an approval or comments requesting additional information and/or needed corrections to your plans and/or your application.

Reports

Two basic types of reports can be issued under a zoning and landscape review; the first report that may be issued will list code deficiencies, if any, as the zoning and landscape reviewer sees them in relationship to the Town's current Zoning Code, the report for zoning will be entitled "Planning and Zoning Comments". This process will continue each time updated information is received and until all issues have been addressed.

After all deficiencies have been addressed and the zoning and Landscape reviewers do not find any deficiencies then a second report will be issued entitled "Town of Golden Beach – Community Development Memorandum" this report is the clearance memorandum to allow the item to move forward and be placed on the Agenda for possible approval by the Board. You will receive two separate reports one from zoning and one from landscaping.

Deadlines - Agenda Placement

A positive review prior to the meeting is required in order for your application to be placed on the Agenda. As with all applications sufficient time is needed by the Town's reviewers and staff for processing prior to the item moving forward for placement on the Agenda.

Your application will require a satisfactory review within the seven days prior to the scheduled meeting in order to be placed on the Agenda. If a satisfactory recommendation is not received within the time period specified, then the application will be tabled to the next Building Advisory Board meeting in the next month, pending approval of the application. Building Advisory Board meetings are scheduled for the Second Tuesday of each month pending quorum. All notifications will be sent via email on the progress of your application and the Board's ability to meet.

Special Note

Simple applications might not receive comment sheets and will move directly to a "Town of Golden Beach – Community Development Memorandum" mentioned in the previous paragraph allowing the item to be placed on the Agenda to be heard by the Board.

Notice

If submittals have been inactive for 90 days or more, they will automatically be placed on inactive status and new submittals will be required.

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD MEETING/HEARING

Property Location: 317 OCEAN BLVD., GOLDEN BEACH

Meeting Date: FEB. 10, 2026

Variance Hearing Dates: Advisory Board FEB. 10, 2026

Town Council MAR. 17, 2026

APPROVAL FROM THE BUILDING REGULATION ADVISORY BOARD IS REQUIRED FOR:

- A. Plans for new residence
- B. Plans for addition to or exterior alterations of an existing structure.
- C. Additional structures on premises of existing residences
- D. Review of landscape plan for new construction, renovation or addition to existing residence.
- E. Recommendation to Town Council for the approval or denial of variances and special exceptions.
- F. Recommendation to Town Council for interpretation regarding apparent conflicts or inconsistencies in the zoning provisions in Chapters 46 & 66

APPLICATION HEARING PROCESS

Building Approval:

Applicant shall submit 2 completed packages for review and approval. Each package shall consist of an application, survey, warranty deed and drawings as required. The plans shall be sized as follows: 2 sets 11" x 17" and 1 USB/ flash drive containing everything submitted hard copy (including application). This is separate from the landscaping plan submittal.

Landscape Approval - Separate Submittal from the Building Submittal Applicant shall submit 2 complete packages for review and approval. Each package shall consist of an application, existing landscape and tree disposition survey, proposed site plan and landscape plans as required. The plans shall be sized as follows: 1 set 11 x 17, 1 full size set 24" x 36" and 1 USB/ flash drive containing everything submitted hard copy (including application).

Zoning Variance Approval:

Submittal for a zoning variance: submit 2 complete packages for approval: each package shall consist of an application, survey, warranty deed and drawings are required. The plans shall be sized as follows: 2 sets 11" x 17" and 1 USB/ flash drive containing everything submitted hard copy (including application).

Final Submittal Requirement:

Eight days prior to the meeting and after all approvals have been obtained. The applicant shall submit for the Board's approval an additional 8 completed application packages, for both Building and Landscaping, which shall consist of a copy of the completed application, approved plans 8 sets 11 x 17 of the approved building and landscape applications, a survey, warranty deed, any other required documentation by the reviewer, and USB/ flash drive containing everything submitted hard copy (including application).

The Building Regulation Advisory Board (B.R.A.B.) meets at 6:00 P. M. on the second Tuesday of every month. Applications must be submitted 40 days, prior to scheduled

Any variances required must be heard and approved by the Town Council after the Building Regulation Advisory Board has considered the item. The Variance will be heard by the Town Council, in the following month, (on the third Tuesday), after the Building Regulation Advisory Board's action, at the Town Council's regularly scheduled meeting.

****NOTICE****

INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. PLEASE MAKE SURE THAT YOU, THE APPLICANT, HAVE CHECKED AND MARKED ALL THE REQUIREMENTS OF THE APPLICATION. IF SUBMITTALS HAVE BEEN INACTIVE FOR 90 DAYS OR MORE, THEY WILL AUTOMATICALLY BE PLACED ON INACTIVE STATUS AND NEW SUBMITTALS WILL BE REQUIRED.

**TOWN OF GOLDEN BEACH APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING**

1. The application deadline date will be adhered to. No application will be accepted after the date and time specified.
2. The Building Department will review the application package. If it is determined that the application is incomplete, the item will not be accepted and returned to the applicant for correction.
3. During the Forty Day (40) period from the deadline date to the hearing date the following events shall take place in proper order:
 - a) During the first week upon submittal, the zoning and landscape reviewers, or the Town's designated agent will review the application and complete a comment sheet specifying all deficiencies for correction which will be emailed to you the applicant/agent of record.
 - b) Corrections for any deficiencies must be submitted within 15 days of the scheduled meeting/hearing date. Corrections not approved or received for a scheduled Agenda item will be deferred to the next B.R.A.B. meeting/hearing date.
 - c) All applicants shall be made aware that incomplete applications or deficiencies not corrected in time as per these regulations, will not be included on the agenda, and are hereby rejected, and will be returned to the applicant.
 - d) Upon receipt of a Staff Recommendation report approving the project the balance of the applications with plans and documents, need to be submitted to the Building Department for distribution to the Board Members and Staff. The Building Dept. shall retain all originals for the records. At that time the applicant's request will be placed on the Agenda for approval by the B.R.A.B. Board Members.
4. After approval of the item by the Board, You will also need to retain a copy of the BRAB approved application package with the minutes for submission at the time of the permit application. Make sure to request a copy of the minutes on the 3rd Tuesday of the following month of your approval.
5. If a Variance: A Notice of Hearing for variance will be mailed no later than 10 days before the date of meeting, as per Town Code.
6. Variance have a two step process: The Building Advisory Board is a recommendation Board to the Town Council – The Town Council is the ultimate authority on Granting or Denial of Variance requests. The Town council will hear your requests for the Variance at the next hearing, it is at that Hearing that the Town Council will either approve or deny your requests. Someone needs to be present at the meeting. The Town Council meetings are held every 3rd Tuesday of every month.
7. After approval of the item by the Board, The Resolutions approving your variance will need to be prepared and you will be notified when they are ready to be picked up and get recorded with the Miami Dade County Clerk's recording office. You will need to forward us a Certified copy of recorded Resolutions and retain a copy for your records.
8. Required for permitting: A copy of the Certified copy of recorded Resolutions and BRAB approved application package along with the minutes.

**TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
SCHEDULE OF FEES**

Appropriate fee shall be paid at time of application you will be charged for each item included in the plans. These fees are not refundable.

<u>Type of request</u>	<u>Fee</u>	<u>Qty</u>
1. New single-family residence- per submittal and resubmittal	\$700.00	<u>0</u>
2. Addition/Remodel of existing structure- per submittal and resubmittal	\$225.00	<u>1</u>
3. Accessory Building (Cabana, Pergola, or Gazebo) - per submittal and resubmittal GATEHOUSE	\$150.00	<u>1</u>
4. Pools, Spas and Water Features - per submittal and resubmittal	\$100.00	<u>0</u>
5. Fencing, site walls, driveways, pool decks - for each item per submittal and resubmittal	\$150.00	<u>1</u>
6. Seawalls and docks - for each item, per submittal and resubmittal	\$200.00	<u>0</u>
7. Boat Lift- per submittal and resubmittal	\$100.00	<u>0</u>
8. Landscape plan review is required for new construction, addition and remodeling projects (submit plans with site plan elevations separate from the building plan approval package).	\$300.00	<u>0</u>
9. Resubmissions, based on original fee paid	75.0%	<u>0</u>
10. Zoning Variances and special exceptions, per variance or exception:		
a. First variance/ exception.	\$750.00	<u>1</u>
b. Per additional variance/exception, for the same initial variance (example: request for a dock, affecting two different codes	\$200.00	<u>1</u>
c. When a variance is granted, the property owner, at his expense, shall have the resolution for the variance recorded in the public records of Miami-Dade county, and two (2) certified copies of the recorded resolution shall be submitted to the Town for inclusion into the property records		
d. If the Town Council grants a variance, a building permit must be secured within two years of the approval date or the variance will become null and void		
11. Request to the Board for verification of any section of the Zoning Code, For each Section to be verified	\$100.00	<u>0</u>

**TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
SCHEDULE OF FEES**

12. Application for the legalization of construction built without the approval of the B.R.A.B., when the Board should have approved such construction, will be assessed a fee equal to four (4) times the regular fee applicable to the matter.

13. Special Requests for a meeting, variance, or waiver of plat hearing:

- a. For matters that have been heard, but the process had not been completed, i.e., tabled subjects, or unfinished subjects to be continued, the applicant must notify the Building & Zoning Department in writing if they would like the item continued

If the notification is received by the Department before the deadline for the next B.R.A.B. meeting, there will be no charge for the continuance. If the notification is received after the deadline, and the applicant still wants the matter included in the agenda for the next meeting, there will be a special fee of

\$200.00 0

- b. If the agenda has already been prepared and the applicant wants the matter to be heard, the request must be received in writing to be added to the agenda at the beginning of the meeting with the approval of the Building Official or Building & Zoning Director. There will be a special fee of

\$200.00 0

- c. When a special meeting or hearing of the B.R.A.B. is requested by an applicant, for either a new matter or continuance of a subject already heard, there will be a special fee for a 2 hour time period of

\$500.00 0

If the time limit is exceeded, an additional fee of ½ of the fee will be assessed for the second time period

\$250.00 0

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Applicant check here	Complete application, sign, and notarize.	Bldg Dept Use
<input checked="" type="checkbox"/>	<p>If a zoning variance is applied for, the petition for variance, pages 9, 10 and 11 shall be submitted with the application and shall include:</p> <ol style="list-style-type: none"> a. Property Legal Description b. Property Folio number c. Street address d. Owners of record e. Owner and agent names and signatures properly notarized. 	
<input checked="" type="checkbox"/>	<p>Initial submittal as directed on page one; surveys, building plans, Warranty Deeds, and applications, After Zoning approval is issued completed sets are to be submitted 8 days prior to the meeting date as follows: Eight (8) copies 11" x 17". The same amount of copies are required for a variance. Each completed package shall consist of 1 each of an application, survey, Warranty Deed and building plans. Submit 1 USB with all documents included</p>	
<input checked="" type="checkbox"/>	<p>Conceptual construction drawings prepared and signed by a licensed design professional that shall include, at a minimum, the following:</p> <ol style="list-style-type: none"> a. Site plan at a scale not less than 1/8" = 1'-0" (Include grade elevations) b. Proposed Floor Plan views, at a scale not less than 1/4"=1'-0" c. Cross and longitudinal sections preferably through vaulted areas, if any. d. Typical exterior wall cross section. e. Full elevations showing flat roof and roof ridge height and any other higher projections. f. Sample board of construction materials to be used. g. Existing and proposed ground floor elevations (NGVD). h. Grading & Drainage Calculations i. Zone 3 Properties: Affidavit of Seawall Conformity 	
<input checked="" type="checkbox"/>	<p>Landscaping Plan, separate from building plan package, prepared and signed by a licensed landscape design professional: The same amount of copies as outlined in the Building plan submittal. Each completed package shall consist of 1 each of an application, existing landscape survey, Warranty Deed, landscape plans with building site plans. Mark USB accordingly (separate from building)</p>	
<input checked="" type="checkbox"/>	<p>First Floor and Second Floor area calculations marking the geometrical areas used to calculate the overall floor areas.</p>	
<input checked="" type="checkbox"/>	<p>Colored rendering showing new construction or proposed addition. Marked with the applicable address.</p>	
<input checked="" type="checkbox"/>	<p>Estimated cost of proposed work. For additions/remodels fair market value of property showing land value and structure value separately.</p>	
<input checked="" type="checkbox"/>	<p>Site plan detailing construction site personnel parking.</p>	

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Application fee: \$1,475

Request hearing in reference to:

New residence/addition: ADDITION Variance(s): ✓
Exterior alterations: ✓ Other Structure: GATEHOUSE
Date application filed: DECEMBER 3, 2025 For hearing date: FEBRUARY 10, 2026

1. Project information:

Project description: RENOVATION/ADDITION OF EXISTING RESIDENCE, NEW 1-STORY GATEHOUSE, SITE WALLS, & GATES, AND NEW HARDSCAPE

Legal Description: LOTS 15, 16, AND 17, IN BLOCK "B," OF SECTION "B" OF GOLDEN BEACH; ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE.

Folio #: 19-1235-002-0460

Address of Property: 317 OCEAN BLVD., GOLDEN BEACH, FLORIDA, 33160

2. Is a variance(s) required: Yes No How Many? 2
(If yes, please submit variance application form for each request).

Owner's Name: RONALD N TUTOR TRS TUTOR MARITAL PROPERTY TR Phone 818 - 200 - 3433 Fax N/A

Owner's address: 317 OCEAN BLVD. City/State GOLDEN BEACH, FL Zip 33160

Email address: RON.TUTOR@TUTORPERINI.COM

Agent: RICHARD F. SAMMONS Phone 561-317-4122 Fax N/A

Agent's address: 189 BRADLEY PLACE City/State PALM BEACH, FL Zip 33480

Email address: JTORRES@FAIRFAXANDSAMMONS.COM

Architect: RICHARD F. SAMMONS Phone 561-805-8591 Fax N/A

Email address: JTORRES@FAIRFAXANDSAMMONS.COM

Contractor: T.B.D. Phone N/A Fax N/A

3. Describe project and/ or reason for hearing request:

ADDITIONS AND RENOVATIONS TO AN EXISTING RESIDENCE, AND HARDSCAPE IMPROVEMENTS

4. The following information is submitted for assisting in review:

Building Plans:

Conceptual: Preliminary: Final:
Other: _____

5. Estimated cost of work: \$ 5,000,000

Estimated market value of: Land \$ 17,080,000
Building \$ 20,307,812

(Note: If estimated cost of work is 40% of the market value of the building an independent appraisal is required).

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

6. Is hearing being requested as a result of a Notice of Violation? _____ NO _____
7. Are there any structures on the property that will be demolished? _____ NO _____
8. Does legal description conform to plat? _____ YES _____
9. Owner Certification: I hereby certify that I am the owner of record (*) of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of owner(s): _____

Acknowledged before me this _____ day of _____, _____

Type of identification:

Notary Public

Owner/Power of Attorney Affidavit:

I, being duly sworn, depose and say I am the owner (*) of the property described in this application and that I am aware of the nature and request for: _____

_____ relative to my property and I am hereby authorizing _____ to be my legal representative before the Building Regulation Advisory Board and Town Council.



Signature of owner(s)

Acknowledged before me this 2nd day December 2025

Type of identification:

CA Drivers License

/su attachment

Notary Public

(*) If owner of record is a corporation then the president with corporate seal, the president and the secretary (without corporate seal), or duly authorized agent for the corporation may execute the application, proof that the corporation is a corporation in good standing.

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Los Angeles

Subscribed and sworn to (or affirmed) before me on this 2nd
day of December, 2025, by Ronald N. Tutor

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.



(Seal)

Signature M. Puente

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Property Address: 317 OCEAN BLVD, GOLDEN BEACH, FL 33160
Legal Description: LOTS 15, 16, AND 17, IN BLOCK "B," OF SECTION "B" OF GOLDEN BEACH
Owner's Name: RONALD N TUTOR TRS Phone 818-200-3433 Fax N/A
Agent's Name: RICHARD F. SAMMONS Phone 561-805-8591 Fax N/A
Board Meeting of: FEBRUARY 10, 2026

- NOTE: 1. **Incomplete applications will not be processed.**
2. Applicant and/or architect must be present at meeting.

Application for: ADDITIONS & RENOVATIONS TO 317 OCEAN BLVD, GOLDEN BEACH, FLORIDA
Lot size: 150.0' x 259.0'
Lot area: 38,850 S.F.
Frontage: 150.0'
Construction Zone: ZONE ONE (OCEANFRONT PROPERTIES)
Front setback: 41.6' PROPOSED (60.0' REQUIRED)
Side setback: 10.0' PROPOSED NORTH / 14.0' PROPOSED SOUTH (10.0' REQUIRED)
Rear setback: 98.3' PROPOSED [NO CHANGE]
Coastal Construction: Yes No East of coastal const. control line: Yes No
State Road A1A frontage: YES
Swimming pool: Yes No Existing: Proposed:
Fence Type: METAL & WOOD Existing: Proposed:
Finished Floor elevation N.G.V.D.: +17.95' NGVD EXISTING [NO CHANGE]
Seawall: YES Existing: Proposed:
Lot Drainage: (NO CHANGE)
How will rainwater be disposed of on site? PERCOLATION & EXISTING DRAINAGE SYSTEM

Adjacent use (s): RESIDENTIAL
Impervious area: 21,222 S.F. PROPOSED (25,252 S.F. MAX. ALLOWED)
% of impervious area: 54.7% PROPOSED (65% MAX. ALLOWED)
Existing ground floor livable area square footage: 5,271 S.F.
Proposed ground floor livable area square footage: 6,896 S.F.
Existing 2nd floor livable area square footage: 4,932 S.F.
Proposed 2nd floor livable area square footage: 8,118 S.F.
Proposed % of 2nd floor over ground floor: 100%
Vaulted area square footage: 306 S.F.
Vaulted height: 23' - 1"
Color of main structure: OFF-WHITE
Color of trim: CREAM
Color & material of roof: CLAY BARREL TILE, BUFF & BROWN HUES ONLY (NO REDS)
Building height (above finished floor elevation): 32'-0" EXISTING [NO CHANGE]
Swale: (Mandatory 10'-0" from edge of payment, 10 ft. wide x 1 ft. deep minimum):
(EXISTING TO REMAIN)
Existing trees in Lot: (REFER TO SURVEY) in Swale: (REFER TO SURVEY)
Proposed trees in Lot: NONE in Swale: NONE
Number & type of shrubs: (REFER TO SURVEY)
Garage Type: ENCLOSED Existing: 4 PARKING SPACES Proposed: 2 SPACES
Driveway width & type: 12' WIDTH, STONE PAVERS

Date: DECEMBER 3, 2025

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
APPLICATION FOR
PETITION FOR VARIANCE

Date: DECEMBER 3, 2025

Fee: _____

I, RONALD TUTOR hereby petition the Town of Golden Beach for a variance from the terms of the Town of Golden Beach Code of Ordinances affecting property located at: 317 OCEAN BLVD., GOLDEN BEACH, FLORIDA Folio No. 19-1235-002-0460

As specified in the attached "Application for Building Regulation Advisory Board" and related supporting material.

1. The Variance requested is for relief from the provisions of **(list section number(s) of the Town of Golden Beach Code of Ordinances)**: _____
SEC. 66-69.1(f)(1) FOR FRONT SETBACK; SEC. 66-69.1(h)(1)(c) FOR SIDE SETBACK ALONG SECOND STORY

2. In order to recommend the granting of the variance, it must meet all the following criteria (please provide a response to each item):

a. The Variance is in fact a Variance from a zoning regulation as set forth within the Zoning Chapter of the Town Code. _____
YES

b. Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district. _____
THIS IS AN EXISTING HOUSE WHICH DOES NOT SUIT OUR GROWING FAMILY'S NEEDS.

c. The special conditions and circumstances do not result from the actions of the applicant. _____
THE HOUSE WAS BUILT PRIOR TO PURCHASE.

d. Granting the Variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district. _____
CORRECT.

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE

3. Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant. _____

YES. _____

4. The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure. _____

YES. _____

5. The granting of the Variance will be in harmony with the general intent and purpose of the Town Code and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare. _____

YES. _____

Does the Variance being requested comply with all the above listed criteria?

Yes No

6. Our code states that submission of a written statement is invited and encouraged. Has the applicant (petitioner) explained the variance to the owners of the nearest adjacent residences and sought their approval in writing? Yes No

Please attach any written letters of no objection to this petition.

7. Is this request related to new construction? Yes No

8. Is construction in progress? NO

9. Is this request as a result of a code violation? NO

10. Did this condition exist at the time property was acquired? Yes No

11. Is this request sought as a remedy to a case to be heard, or action taken by the Special Magistrate? NO

12. Do you have a building permit? Yes No

Building Permit No. _____ Date issued: _____

TOWN OF GOLDEN BEACH
BUILDING REGULATION ADVISORY BOARD
PETITION FOR VARIANCE
AFFIDAVIT BY OWNER

Affidavit by Owner for Variance Request(s):

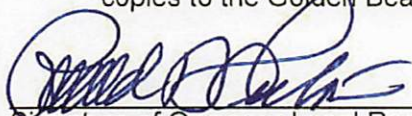
Folio No.: 19-1235-002-0460 Address: 317 OCEAN BLVD., GOLDEN BEACH

Legal Description: LOTS 15, 16, AND 17, IN BLOCK "B," OF SECTION "B" OF GOLDEN BEACH; ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE.

Being duly sworn, deposes and says: That He/She is the Owner named in the application for Building Advisory Board for the hearing date of FEB. 10, 2026 relating to Variance requests for construction or other work to be performed on, or in connection with, the premises located as indicated in the application.

I acknowledge notification by The Town of Golden Beach, that granting of a variance(s) by The Town Council, is conditioned on the following:

1. That a Building Permit for the contemplated work pursuant to the Variance must be issued within two (2) years from the date of the approval of the Resolution granting such variance request.
2. If a Building Permit is not issued within the two (2) year time limit set then the Resolution granting the Variance approval will be null and void.
3. That as the applicant, and at my own expense, I shall record a certified copy of the Resolution in the public records of Miami-Dade County and return two (2) certified copies to the Golden Beach Town Hall for inclusion into my property records.



Signature of Owner or Legal Representative

Sworn to and subscribed before me this _____ day of, _____, see attachment

Notary Public State of Florida at Large

Personally know to me

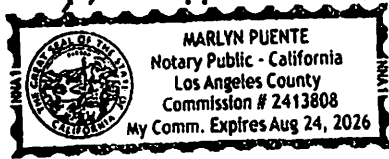
Produced Identification

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Los Angeles

Subscribed and sworn to (or affirmed) before me on this 2
day of December, 2025, by Ronald N. Tutor

proved to me on the basis of satisfactory evidence to be the
person(s) who appeared before me.



(Seal)

Signature M Puente

GOLDEN BEACH LANDSCAPE LEGEND

Chapter 52 - Landscaping

Zoning District: _____ Net Lot Area: _____ acres _____ square feet

OPEN SPACE

A. Square feet of paved area, as indicated on the site plan:

B. Square feet of pervious area, as indicated on site plan:

**(NO CHANGE TO
EXISTING LANDSCAPE)**

Required

Provided

TREES

A. The number of trees required per net lot acre:

= 1 tree per 2,500 SF of lot area minus number of existing trees

Less the existing number of trees meeting minimum requirements

(minus) _____

B. Min. 2 canopy trees or grouping of palms meeting code requirement in front setback

C. % palm trees allowed: No. trees required x 40%:

D. % native trees required: No. trees provided x 50% =

E. % drought tolerant trees required: No. trees provided x 50% =

F. Street trees: 1 per 25 linear feet of frontage excluding driveways

_____ linear feet along street / 25' =

G. Total number of trees required / provided:

SHRUBS

A. The total number of trees required x 20 = the number of shrubs required

B. The number of shrubs required x 30% = the number of native shrubs required

Irrigation Plan: Required by Chapter 52. Automatic Irrigation provided _____

Average Elevation of Pervious Areas= _____ feet NGVD

Step 4:

Determine the distance between the average high ground water elevation and the average elevation of the pervious areas. For design purposes, the average high ground water elevation for most of Golden Beach is 2 feet NGVD (Additionally, please check with your geotechnical engineer and/or geotechnical report.)

Distance= _____ feet

Step 5:

Determine an S_1 value from the table below:

Distance between ground water table and average elevation of pervious areas,	S_1
1 foot	0.45 inches
2 feet	1.88 inches
3 feet	4.95 inches
4 feet	8.18 inches
>4 feet	8.18 inches

If necessary, compute a value of S_1 by interpolation.

S_1 = _____ inches

Step 6:

Determine S as:

$$S = \frac{AP}{A * S_1}$$

S is computed in inches S = _____ inches

Step 7:

Determine runoff depth (R) as:

$$R = \frac{(P - 0.2 * S)^2}{(P + 0.8 * S)}$$

Where P= 7.00 inches of rainfall produced during a 10- year/ one-day storm. Then:

$$R = \frac{(7.00 - 0.2 * S)^2}{(7.00 + 0.8 * S)}$$

$$(7.00+0.8*S)$$

R is computed in inches R= _____ inches

Step 8:

Determine runoff depth (R) as:

$$V = \frac{A * R}{12}$$

V is computed in cubic feet. V is the volume of runoff generated during a 10 year- year/ one day storm within the property or sub-basin of the property.

$$V = \text{_____ cubic feet}$$

Step 9:

Compute "retention volume provided" (VP) as the retention volume capacity, in cubic feet, of swales, retention areas, and drains within the property or sub-basin within the property.

- o Attach calculation showing how the volume was calculated.
- o Calculations must be consistent with existing and proposed elevations shown on design plans.

$$VP = \text{_____ cubic feet}$$

Step 10:

Compute values of retention volume provided (VP in Step 9) with retention volumes needed (V in Step 8). Retention volume provided (VP) must be larger than retention volume needed (V). (VP= _____ cubic feet) > (V= _____ cubic feet)

NOTE: These volumes calculations are needed to satisfy the Town of Golden Beach Comprehensive Plan Level of Service (LOS) and Code requirements.

DEFINITIONS			
P:	Rainfall depth in inches.	A:	Total area of property in square feet.
S:	Soil storage capacity in inches.	AP:	Total pervious areas within property in square feet.
R:	Runoff depth in inches.	V:	Volume of runoff in cubic feet.
AI:	Total area of roof, pavement patios, pool decks, walkways and any other hardscape areas within the property in square feet (ie., total impervious area).		

Note:* means multiply.

(NO SEAWALL OR DOCK)

TOWN OF GOLDEN BEACH
ACKNOWLEDGEMENT and AFFIDAVIT BY OWNER
Chapter 46-85 Height of Seawalls and Docks and Extension of Deck of Dock.
of the Code of Ordinances
Article IV Seawalls and Docks.

Affidavit by Owner: _____

Folio No.: _____ Address: _____

Legal Description: _____

Being duly sworn, deposes and says: That He/She is the Owner named in the permit application for construction or other related work to be performed on, or in connection with, the premises, as indicated above, and is in agreement that granting of a permit for construction on said premises, agrees to repair, or replace said seawall in question;

- a) All new and replacement seawalls shall be constructed at an elevation of 4.425 feet above the North American Vertical Datum of 1988 (NAVD-88). Except as provided in section (b) below, all new and replacement docks shall be constructed at a minimum height of 3.425 NAVD-88, and a maximum not to exceed 4.425 NAVD-88. No finished material installed or applied to the seawalls or docks shall exceed three inches in thickness. No cover shall be permitted to be erected in connection with any dock.

- b) Where any legal non-conforming seawall exists, a new or replacement dock may be constructed at an elevation which is not more than one foot below the top of the cap of the existing seawall.

Signature of Owner or Legal Representative
Print Name: _____

Sworn to and subscribed before me this _____ day of _____

Notary Public State of Florida at Large

_____ Personally know to me _____ Produced Identification

ACKNOWLEDGMENT OF RECEIPT
FOR ZONE 1 PROPERTIES ONLY (OCEAN FRONT)

Date: DECEMBER 3, 2026

Ref: Address of the Property: 317 OCEAN BLVD, GOLDEN BEACH

I acknowledge receipt of the following documents from the Town of Golden Beach, Building and Zoning Department for properties situated in Zone One.

1. One-Hundred- Year Storm Elevation Requirements for Habitable Structures Located Seaward of a Coastal Construction Control Line
2. Flood Resistant Provisions in the 7th Edition Florida Building Code (2020)
3. Flood Damage- Resistant Materials Requirements
4. Non- Conversion Agreement for Enclosures below the base flood elevation or Design Flood Elevation –fully execute and submit to the building department
5. New Construction/ Addition/ Remodel Permit Documentation Log

RONALD W. TUTOR OWNER

Name and Title



Signature



TOWN OF GOLDEN BEACH

100 Ocean Boulevard, Golden Beach, FL 33160
Phone: (305) 932-0744 Fax: (305) 933-3825
www.goldenbeach.us

NON-CONVERSION AGREEMENT FOR ENCLOSURES BELOW THE BASE FLOOD ELEVATION OR DESIGN FLOOD ELEVATION (ZONE 1- OCEAN FRONT)

This DECLARATION made this 337 day of 20 25, by RONALD TUTOR ("Owner") having an address at 317 OCEAN BLVD. in the Town of Golden Beach, Florida designated in the Tax Records as Folio # 19-1235-002-0460 as recorded in the public records of Miami Dade County in Book No. 9, Page No. 52.

WITNESSETH:

WHEREAS, the Owner has applied for a permit to construct, improve, or repair the property owned by RONALD TUTOR (name) at 317 OCEAN BLVD. (address) in the Town of Golden Beach and:

- 1) It is identified by building Permit No. _____, dated _____;
- 2) It is located on a flood hazard area identified on Flood Insurance Rate Map Panel # 12086C-0153-L, dated 09-11-2009;
- 3) It is located in flood zone(s):

AE	Base Flood Elevation <u>+8.0' NGVD</u>
VE	Base Flood Elevation <u>+10.0' NGVD</u>
X	Base Flood Elevation <u>N/A</u>

Seaward of LiMWA or community defined Coastal A Zone limit: Yes No

Seaward of Coastal Construction Control Line: Yes No

Florida Department of Environmental Protection 100-Year Storm Elevation _____ (NGVD).

- 4) It is designed to conform to the requirements of the Town of Golden Beach Floodplain Management Ordinance referred herein as "Land Development Regulations," of Golden Beach and the most current edition of the Florida Building Code - Residential; and
- 5) If unauthorized improvements, modifications, alterations, conversions or repairs are made to it in the future, the structure could be made noncompliant by such unauthorized actions, including such actions by future owners.

WHEREAS, the Owner agrees to record this DECLARATION OF LAND RESTRICTION (NON-CONVERSION AGREEMENT) in the public records of Miami Dade County and certifies, accepts and declares that the following covenants, conditions and restrictions are placed on the affected property as a condition of granting the Permit, and affects rights and obligations of the Owner and any future owners, and shall be binding on the Owner, his heirs, personal representatives, successors and assigns.

THE PERMITTED STRUCTURE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE – RESIDENTIAL AND/OR LOCAL FLOODPLAIN MANAGEMENT REGULATIONS, AS APPLICABLE AND SUBJECT TO THE CONDITIONS, as follows:

1. The structure or part thereof to which these conditions apply is:
 - An enclosure that is below the Base Flood Elevation or Design Flood Elevation.

A detached, allowable accessory structure that is not elevated.

2. Enclosed areas below the Base Flood Elevation or Design Flood Elevation, whichever is higher, shall be used solely for parking of vehicles, limited storage, or access to the building. All interior walls, ceilings and floors within the enclosed area shall be unfinished or constructed of flood damage-resistant materials and shall not be used for recreational or habitable purposes. Installation of minimal electrical, mechanical and plumbing equipment, devices and fixtures as allowed by the Florida Building Code.
3. The walls of the enclosed areas below the Base Flood Elevation or Design Flood Elevation of the structure or part thereof identified in #1 shall be designed to breakaway. The breakaway walls shall not be altered in any way that prevents the walls from breaking away, as designed, under flood conditions.
4. The breakaway walls of the enclosed areas below the Base Flood Elevation or Design Flood Elevation of the structure or part thereof identified in #1 shall be equipped with flood openings. The flood openings shall not be blocked, covered, manually closed or modified in any way that would alter the intended performance to allow floodwaters to automatically enter and exit.
5. Any conversion, alteration, modification, improvement, repair or changes from these conditions constitute a violation of the Permit and this agreement, and may render the structure non-compliant with minimum requirements, and result in higher NFIP flood insurance rates. The Town of Golden Beach, as the jurisdiction issuing the Permit and enforcing this agreement, may take any appropriate legal action to correct any violation.
6. A duly appointed representative of the City is authorized to enter the property for the purpose of inspecting the exterior and interior of the enclosed area to verify compliance with this Declaration. Such inspections will be conducted upon due notice to the Owner and no more frequently than once year. More frequent inspections may be conducted if the annual inspection discovers a violation of the Permit
7. Other conditions: _____

In witness whereof the undersigned set hands and seals this _____ day of _____, 20____.

RONALD W TUBER
Owner's Name (Printed)

[Signature]
Signature of Owner

12/2/25
Date

Owner's Name (Printed)

Signature of Owner

Date

Witness's Name (Printed)

Signature of Witness

Date

Sworn to and Subscribed before me this _____ day of _____, 20____.

Signature – State of Florida Notary Public

(SEAL)

See attachment

Personally known _____ OR, Produced Identification _____
Type of ID Produced _____

(DOCUMENT MUST BE RECORDED AND PROOF OF RECORDING PROVIDED)

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Los Angeles

Subscribed and sworn to (or affirmed) before me on this 2
day of December, 2025, by Ronald N. Tutor

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.



(Seal)

Signature M. Puente



TOWN OF GOLDEN BEACH
100 OCEAN BOULEVARD
Golden Beach, Fl. 33160

SUMMARY MINUTES (DRAFT)
BUILDING REGULATION ADVISORY BOARD
March 10, 2026, at 6pm

Zoom Meeting ID: 892 9110 8015 Passcode: 752288 For Dial in only call: 929-205-6099.

- A. CALL MEETING TO ORDER: 6:10PM**
- B. BOARD ATTENDANCE:** Zvi Shiff, Jerome Hollo, Isaac Murciano, and Alan Macken (absent)
- C. STAFF ATTENDANCE:** Linda Epperson-Asst Town Manager, Lissette Perez- Town Clerk, Lissett Rovira- Director of Capital Improvements, Christopher Gratz-Zoning Reviewer, Elena Cheung-Asst to the Town Clerk, Amber Schwabenbauer, Administrative Office Coordinator, Monica Diaz-Permit Clerk, and Alexander Diaz- Town Manager
- D. APPROVAL OF MINUTES:** February 10, 2026

A motion to approve the minutes was made by Isaac Murciano, Seconded by Zvi Shiff. All were in favor – no one opposed
Motion passed 3 – 0

E. ZONING IN PROGRESS:

The Town Manager provided an update on several administrative and zoning initiatives. Under the direction of the Mayor and Council, the Town will be hiring a full-time building and zoning inspector to strengthen oversight of construction projects and zoning compliance. The position will help identify violations that may currently be overlooked and ensure job sites remain orderly and compliant with Town regulations.

The Town also reported progress addressing Zone 1 ground floor compliance issues, noting that 14 properties were previously identified as potentially violating flood code or height regulations. To date, all but three property owners have entered settlement agreements with the Town, including voluntary community contributions to bring properties into compliance.

Several zoning initiatives ("zoning in progress") were announced that will be presented to the Town Council for consideration, including:

- Implementation of a zoning review and inspection fee to ensure adherence to zoning requirements during construction.
- Proposed elimination of pile requirements for certain non-structural items, such as fencing, to reduce unnecessary construction costs.
- Updates to Zone 1 ground floor regulations encouraging parking use at the ground level. Up to 1,000 square feet of space beneath the first habitable floor may be used for permitted areas such as storage, circulation, hallways, foyers, entries, laundry, or a gym. Any additional square footage beyond 1,000 square feet would be subject to a fee of \$150 per square foot through October 1, increasing to \$300 per square foot thereafter for bonus ground-level space. The fee would apply to projects currently under review that do not yet have issued building permits.

- An increase in the minimum construction value used for permit calculations in Zone 1 from \$1,200 to \$2,100 per square foot.

The Town Manager also addressed a lot setback issue on North Parkway resulting from a previous lot split that created a frontage deficiency. The administration recommended maintaining 10-foot exterior setbacks while allowing 7.5-foot interior setbacks between the two lots, as both are currently owned by the same property owner, to avoid requiring a full redesign.

Finally, the Town continues to evaluate potential code amendments related to second-floor design, including considerations for step-back requirements and incentives for pitched roofs, with the goal of improving architectural outcomes and avoiding overly box-like structures.

F. VARIANCE REQUEST(S):

1. Ronald N Tutor Trs.
Tutor Marital Property Tr
Alia Tutor Trs.
317 Ocean Blvd
Golden Beach, FL 33160

Property Address: 317 Ocean Blvd, Golden Beach, FL, 33160
Folio No: 19-1235-002-0460
Legal Description: Lots 15 16 17 Inc Blk B, GB Sect B, PB 9-52

Christopher Gratz summarized his report into the record.
Jaime Torres-Cruz Managing Director, Fairfax, Sammons & Partners LLC
189 Bradley Place, Palm Beach, FL 33480 spoke on behalf of the applicant.
This item was heard out of order and after the new business.

1. Relief from Town Code §66-69.1(f)(1) Main Residence. Which states that no portion of any primary residential structure shall be placed closer to the west "front" lot line abutting Ocean Boulevard than 60'

Request is to allow the existing north garage to be expanded to have a front setback of 41.6', and the south garage to be expanded to have a front setback of 46.2';

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria

Isaac Murciano made a motion to recommend approval of the variance, Seconded by Zvi Shiff.

On roll call: Zvi Shiff- Nay, Jerome Hollo- Nay, Isaac Murciano - Nay

Motion failed 3-0

2. Relief from Town Code §66-69.1(h)(1)(c) which requires all residences designed as two-story structures shall be required to increase the side Setbacks along two-thirds of the length of the second story by one foot for each one foot (1:1) of building height above the first 18';

Request is to allow for the Side Yard Setback along the second story of 10' as opposed to the minimum 22' on the north side of the property; and to allow the Side Yard Setback along the second story of 14' as opposed to the minimum 22' on the south side of the property.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria

Isaac Murciano made a motion to recommend approval of the variance, Seconded by Zvi Shiff.

On roll call: Zvi Shiff- Nay, Jerome Hollo- Nay, Isaac Murciano - Nay

Motion failed 3-0

G. REQUEST FOR ADDITIONS, DEFERRALS, DELETIONS & WITHDRAWALS:

2. Philip Solomon
Joanna Solomon
212 South Island Drive
Golden Beach, FI 33160

Property Address: 212 South Island Drive, Golden Beach, FL, 33160
Folio No: 19-1235-004-0700
Legal Description: Lots 33 & 34, BLK 5 GB Sect d, PB 10-10

Installation dock replacement & seawall repair.

3. Jason Rubin
268 South Parkway
Golden Beach, FI 33160

Property Address: 268 South Parkway, Golden Beach, FL, 33160
Folio No: 19-1235-004-0140
Legal Description: Lots 18 & 19, BLK G GB Sect D, PB10-10

Construction of new single-family residence and landscape design approval.

4. Alan & Helen Gay Benenson
304 South Parkway
Golden Beach, FI 33160

Property Address: 304 South Parkway, Golden Beach, FL. 33160
Folio No.: 19-1235-005-0570
Legal Description: Lots 29, Blk G, GB Section E, PB 8-122

Construction of exterior alternation and addition.

5. Ronald N Tutor Trs
Tutor Marital Property Tr
Alia Tutor Trs

**317 Ocean Blvd
Golden Beach, FL 33160**

**Property Address: 317 Ocean Blvd, Golden Beach, FL, 33160
Folio No: 19-1235-002-0460
Legal Description: Lots 15 16 17 Inc Blk B, GB Sect B, PB9-11**

Construction of addition and renovations and landscape improvements.

- 6. Center Island Llc
393 Center Island Dr
Golden Beach, FL 33160**

**Property Address: 393 Center Island Drive, Golden Beach, FL, 33160
Folio No: 19-1235-005-0880
Legal Description: S12.50FT OF LOT 24 BLK K GB Sect E, PB 8-122**

Installation dock replacement.

- 7. Center Island Llc
393 Center Island Dr
Golden Beach, FL 33160**

**Property Address: 397 Center Island Drive, Golden Beach, FL, 33160
Folio No: 19-1235-005-0885
Legal Description: Lot 24 Less S12.50ft & Lot 25 Blk, Gb Sec E, Pb 8-122**

Installation dock replacement.

- 8. Marc B Farbstein Trs
Marc B Farbstein Revocable Trust
416 Golden Beach Dr
Golden Beach, FL 33160**

**Property Address: 416 Golden Beach Drive, Golden Beach, FL. 33160
Folio No.: 19-1235-005-0520
Legal Description: Lots 47 & S1/2 of Lot 46 & Lot 48, Blk F, GB Section E,
PB 8-122**

Construction of exterior alternation

- 9. 428 Golden Beach Drive Llc
20533 BISCAYNE BLVD STE 4 413
AVENTURA, FL 33180**

**Property Address: 428 Golden Beach Drive, Golden Beach, FL, 33160
Folio No: 19-1235-005-0500
Legal Description: S1/2 Of Lot 43 & Lot 44 Blk F, Gb Sec E, Pb 8-122**

Installation dock and seawall replacement.

- 10. Saber South Hialeah II Llc
1820 E Hallandale Beach Blvd
Hallandale, FL 33009**

Property Address: 476 North Parkway, Golden Beach, FL, 33160
Folio No: 19-1235-005-0400
Legal Description: Lot 32 Blk F, Gb Sec E, Pb 8-122

Construction of new single-family residence and landscape design approval.

11. 605 Ocean Blvd LLC Trs
605 Ocean Blvd Tr
18909 Ne 29 Ave
Aventura, Fl 33180

Property Address: 605 Ocean Blvd., Golden Beach, FL, 33160
Folio No: 19-1235-001-0510
Legal Description: Lots 17 & 18, BLK D GB Sect A, PB 9-52

Variance request for construction of new single-family residence and landscape design approval.

Motion to defer items 2 – 11 by Isaac Murianco, Seconded by Zvi Shiff
All were in favor no one opposed
Motion passed 3 – 0

H. NEW BUSINESS:

12. Veronica Sarabia Trs
Veronica Sarabia Trust
455 Center Island Dr
Golden Beach, Fl 33160

Christopher Gratz summarized his report into the record.
Giovanni Munoz, Managing Partner, 8325 NE 2nd Av- Ste 324
Miami, FL – 33138 spoke on behalf of the applicant. This item was heard out of
order and after the defer items.

Property Address: 455 Center Island Drive, Golden Beach, FL, 33160
Folio No: 19-1235-005-0990
Legal Description: Lot 12 Blk L, GB Sec E PB 8-122

Modification to exterior façade.

A motion to approve was made by Isaac Murciano, Seconded by Zvi Shiff.
On roll call: Zvi Shiff-Aye, Jerome Hollo-Aye, and Isaac Murciano -Aye
Motion passed 3 – 0

I. OLD BUSINESS:

13. Taurus Bg Holdings LLC
Castle Hill Realty Iii Fl LLC
538 N Parkway LLC
4243 Dunwoody Club Dr 200
Atlanta, Ga 30350

Christopher Gratz summarized his report into the record.
Austin Fox and Donald Kokona, Austin Fox Architecture 175 East Commercial
Boulevard, both spoke on behalf of the applicant. Moshe Minoa also spoke on his

behalf as the owner. This item was heard out of order and after the variance request item.

Property Address: 538 North Parkway, Golden Beach, FL, 33160
Folio No: 19-1235-006-0690
Legal Description: Lots 15 & S1/2 of Lot 14, BLK F GB Sect F, PB 10-11

Construction of new single-family residence and landscape design approval.

A motion to approve with conditions was made by Isaac Murciano, Seconded by Zvi Shiff. The motion was amended to require that all sidewalks and walls comply with applicable code requirements. Any grade differentials and potential drop-offs at the rear patio and stair areas be addressed in accordance with building code and life safety requirements, including the installation of required railings if applicable. Proposed railings shall be aesthetically consistent with the residence, with the applicant indicating a preference for glass or similar materials.

On roll call: Zvi Shiff-Aye, Jerome Hollo-Aye, and Isaac Murciano -Aye
Motion passed 3 – 0

J. DISCUSSION:

14. Proposed changes to the Code of Ordinance regarding grading and site elevation.

Discussion – Second Floor Calculation Method

The members of the Building Regulations Advisory Board discussed a proposed calculation method for determining the second floor building area and setbacks. The town staff presented a formula that included variables like building height, multipliers, lot depth, and setbacks to determine the allowable square footage. The formula was overly complicated and difficult to interpret, as expressed by several Board members.

The board members discussed going back to the original percentage-based approach, which determined the second-floor area as a percentage of the first-floor area. According to the Board members, the percentage method had a simpler approach to comprehend and manage, but adjustments may be needed to address issues that have been encountered with flat and pitched roof designs.

The board members requested that the town staff distribute the previous percentage standards and related provisions for review, including any previous incentives or bonuses tied to design features and clarification regarding roof height calculations. Past issues could be addressed by the town staff by measuring pitched roofs against the mean roof height.

The board members made a commitment to review the previous standards and revisit the matter at a future meeting to find the correct approach.

K. ADJOURNMENT: 7:10 pm

PURSUANT TO FLA. STATUTE 226.0165, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND FOR THAT SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHER INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT

317 OCEAN BLVD.
GOLDEN BEACH, FLORIDA

TOWN OF GOLDEN BEACH BRAB SUBMITTAL SET - FINAL
FEBRUARY 24, 2026

MEETING DATE: MARCH 10, 2026



CODES & STANDARDS:

THIS PROJECT WAS DESIGNED IN ACCORDANCE WITH THE 2021 FLORIDA BUILDING CODE WITH SECTION OCCUPANCY CLASSIFICATION: R-3 (SINGLE FAMILY RESIDENCE); CONSTRUCTION TYPE: IIB (C.B.I.)

SCOPE OF WORK:

- RENOVATIONS ACCORDING TO EXISTING 2-STORY RESIDENCE.
- NO PROPOSED CHANGES TO LANDSCAPE OR DRAINAGE SYSTEM.
- BASEMENT: NO CHANGE TO SIZE OR BEST FOOTPRINT, UTILITY, RENOVATION AT CITY LEVEL.
- FIRST FLOOR: 1,975 SQ. FT. ADDITION PLUS UTILITY RENOVATIONS THROUGHOUT.
- SECOND FLOOR: 4,875 SQ. FT. ADDITION PLUS UTILITY RENOVATIONS THROUGHOUT.
- ROOF: NEW ROOFS AT ADDITION; REUSE EXISTING MATERIAL THROUGHOUT.
- ELEVATIONS: PROPOSED CHANGE IN ARCHITECTURAL STYLE TO MEDITERRANEAN AND CHANGE TO EXISTING BUILDING HEIGHTS.
- COURTYARD: A NEW 10'x10' GATEHOUSE (ACCESSORY BUILDING) WITH NEW MASONRY AND PEDESTAL GATES AND NEW SITE WALLS TO MATCH EXISTING.

Richard F. Sammons
Digitally signed by Richard F. Sammons
Date: 2026.02.23 10:26:11 -05'00'

TOWN OF GR BRAB FINAL SET 02/24/2026
TOWN OF GR BRAB REV. 02/24/2026
TOWN OF GR BRAB SUBMITTAL 02/24/2026

317 OCEAN BLVD.
GOLDEN BEACH, FL

PROJECT TITLE
COVER SHEET

DATE: FEB. 24, 2026
SCALE: AS NOTED
PROJECT NO: A-000
REV: 02/24/26

DOCUMENT TITLE	NO.	DATE	BY	REVISIONS
01/01/2026 TOWN OF GR BRAB SUBMITTAL	1	01/01/2026	RS	1
01/02/2026 TOWN OF GR BRAB SUBMITTAL - REV. 02	2	01/02/2026	RS	2
01/03/2026 TOWN OF GR BRAB SUBMITTAL - FINAL	3	01/03/2026	RS	3

ARCHITECT
FAIRFAX, SAMMONS, & PARTNERS
189 BRADLEY BLVD.
PALM BEACH, FL 33480
561-805-8591



1 AERIAL MAP
1" = 300' 0"

Richard F. Sammons
Digitally signed by Richard F. Sammons
Date: 2026.02.23 10:29:46 -05'00'

TOWN OF GB BARR FINAL 2026 10/24/2025
TOWN OF GB BARR REV 12/30/2025
TOWN OF GB BARR DRAFT 12/31/2025

317 OCEAN BLVD.

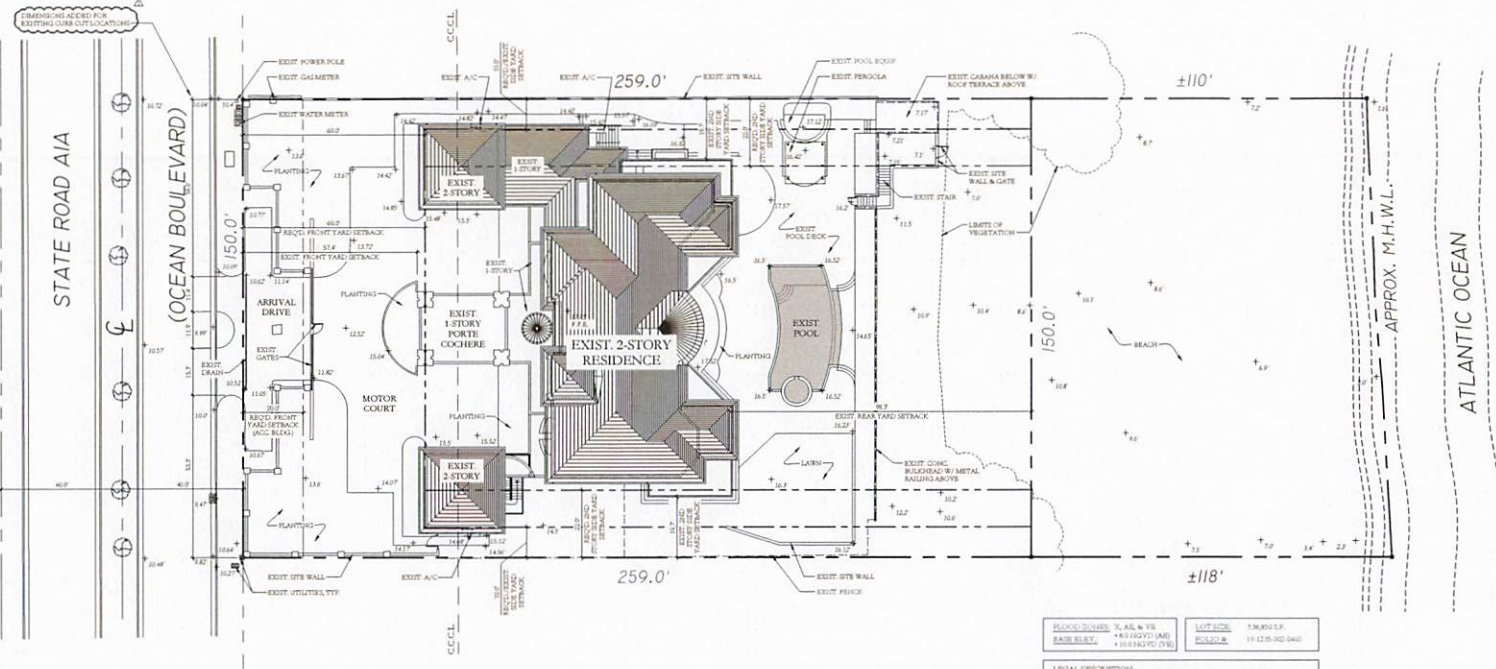
GOLDEN BEACH, FL

AERIAL MAP

DATE	1/28/2026	DRAWN BY	
SCALE	1" = 300' 0"	TITLE	AER-1
BY	CSJ		

PAPER & PENCIL ENGINEERS & ARCHITECTS, INC.
 10000 W. BOULEVARD, SUITE 100
 BOCA RATON, FLORIDA 33433
 (561) 995-1100
 WWW.PAPERANDPENCIL.COM

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1 EXISTING SITE PLAN ROOF PLAN
1/16" = 1'-0"



NOTE: ELEVATIONS REFERENCED TO NGVD SURVEY ELEVATIONS

LEGEND:
 +5.50' EXISTING ELEVATION
 +5.50' PROPOSED ELEVATION

Richard F. Digitally signed by
 Summons Date: 2026.02.23
 10:52:53 -05'00'

TOWN OF OR BEAR FINAL JOB: 02/24/2026
 TOWN OF OR BEAR REV: 02/26/2026
 TOWN OF OR BEAR REMITTAL: 02/26/2026

317 OCEAN BLVD.
 GOLDEN BEACH, FL

EXISTING
 SITE PLAN ROOF PLAN
 DATE: 1/28/2026
 SCALE: 1/16" = 1'-0"
 FILE NO: EX-001

PROFESSIONAL SEAL
 RICHARD F. SUMMONS
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 12500
 EXPIRES 12/31/2026

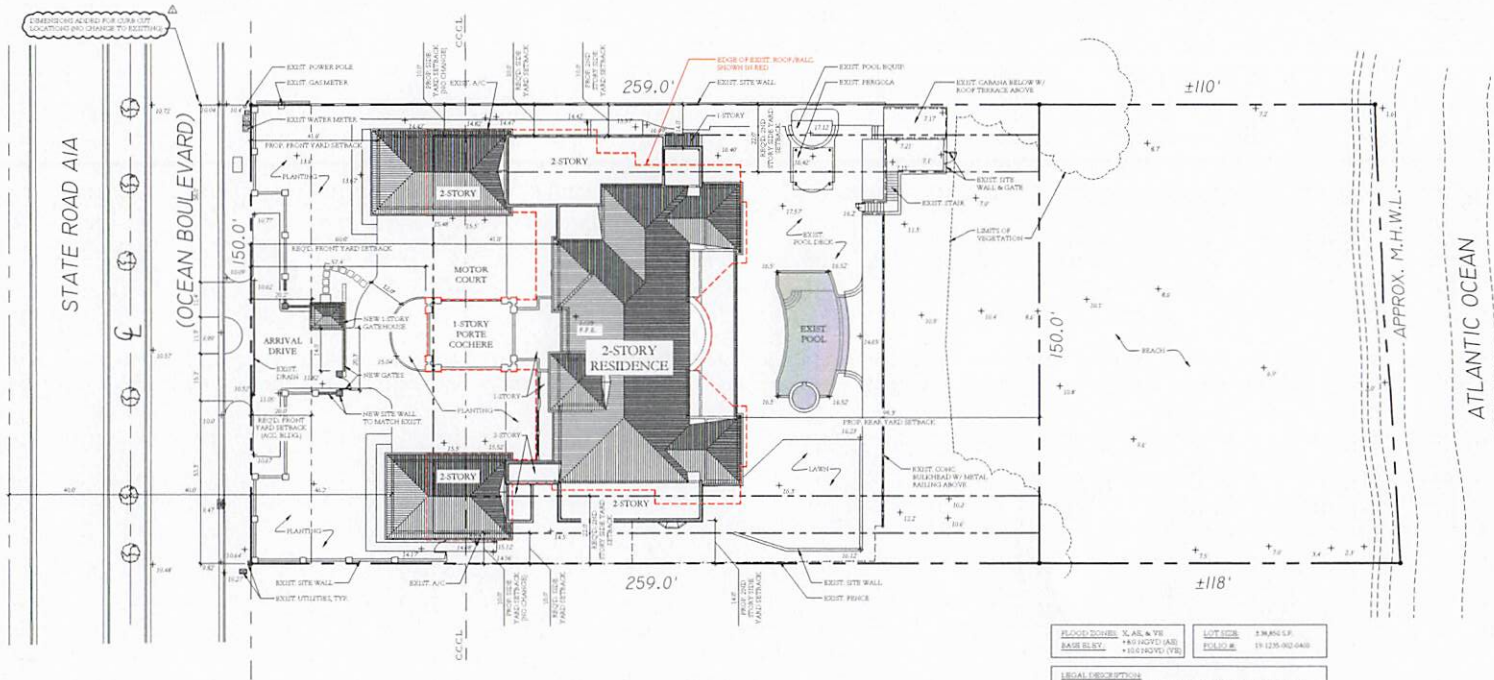
Disclaimer: This drawing and any other documents prepared by the undersigned are the property of the undersigned and are not to be used for any other project without the express written consent of the undersigned. The undersigned shall not be held responsible for any errors or omissions in this drawing or any other documents prepared by the undersigned. The undersigned shall not be held responsible for any actions taken by any other party based on this drawing or any other documents prepared by the undersigned. The undersigned shall not be held responsible for any actions taken by any other party based on this drawing or any other documents prepared by the undersigned.



2 LOT AREA DIAGRAM
1"=50' 0"

ZONING REGULATIONS	REQUIRED/ALLOWED	EXISTING	PROPOSED	VARIANCE REQUEST
ZONE (LOCAL FRONT PROPERTY)	11,250 S.F. (MIN)	30,563 S.F.	(NO CHANGE)	
LOT AREA	1,107 SQ. FT.	1,107 SQ. FT. (ZFP)	(NO CHANGE)	
LOT SETBACK	ESTABLISHED BY PLAT	2,207 S.F.	(NO CHANGE)	
FRONT (WEST) YARD SETBACK AS OCEAN BLVD.	100' MIN.	37' 6" (NON CONFORMING)	41' 6"	X
SIDE (NORTH) YARD SETBACK	100' MIN.	100'	(NO CHANGE)	
2ND SIDE YARD (ON NORTH YARD SETBACK - 2/3 LENGTH)	22' (W/ 100' BLDG HEIGHT)	19' 7" (NON CONFORMING)	100'	X
SIDE (SOUTH) YARD SETBACK	100' MIN.	100'	(NO CHANGE)	
3RD SIDE YARD (ON SOUTH YARD SETBACK - 2/3 LENGTH)	22' (W/ 100' BLDG HEIGHT)	19' 7" (NON CONFORMING)	100'	X
REAR (EAST) YARD SETBACK	VARIABLE	96'	(NO CHANGE)	
BUILDING SETBACK (AREA)	1000 S.F. (MIN)	10,200 S.F.	14,000 S.F.	
BUILDING HEIGHT	100' MAX.	32' (NON CONFORMING)	(NO CHANGE)	
ACCESSORY BLDG. HEIGHT (OVERHEAD)	25' MAX.	N/A	12' 6"	
LANDSCAPED OPEN SPACE (PERMANENT AREA)	15% MIN. - 13,500 S.F. MIN.	45,000 - 17,000 S.F.	41,200 - 17,500 S.F.	
REAR AND SIDE YARD COVERED AREA	40% MAX. - 24,210 S.F. MAX.	19,420 - 21,100 S.F.	5,000 - 21,200 S.F.	
A.C. BLDG. FRONT (WEST) YARD SETBACK (GATEHOUSE)	100' MIN.	N/A	30' 2"	
A.C. BLDG. SIDE (NORTH) YARD SETBACK (GATEHOUSE)	100' MIN.	N/A	45' 2"	
A.C. BLDG. SIDE (SOUTH) YARD SETBACK (GATEHOUSE)	100' MIN.	N/A	77' 0"	
A.C. BLDG. REAR (EAST) YARD SETBACK (GATEHOUSE)	VARIABLE	N/A	220' 0"	
BASE FLOOD ELEVATION (B.F.E.)	ZONED X, M, D, U, & V, S.L. 18	N/A	N/A	
FIN. FLOOR ELEVATION (FIN. FLOOR) HIGHEST FIN. FLOOR	+10.2' NGVD (110)	+17.0' NGVD (NON CONFORMING)	(NO CHANGE)	
(AVG. CROWN OF ROAD) (C.O.R.)	(PER SURVEY)	+10.5' NGVD	(NO CHANGE)	

* SITE AREA ACCORDING TO PROPERTY APPRAISER
 ** EFFECTIVE LOT DEPTH FOR PURPOSE OF ZONING VARIATIONS, BASED ON LOT AREA ACCORDING TO PROPERTY APPRAISER
 *** NO PORTION OF ANY LOT OR SHALL BE CLOSER TO THE OCEAN THAN BEING A LINE DRAWN BETWEEN THE CORNERS OF THE NEAREST EXISTING RESIDENCE PARALLEL TO THE BEACH
 **** HABITABLE AREA ALLOWED BELOW 10' NGVD INCLUDES GARAGES, STORAGE, & UTILITY LAUNDRY ROOMS & ONE BATHROOM



1 PROPOSED SITE PLAN ROOF PLAN
1/32"=1' 0"

NO PROPOSED CHANGES
TO EXISTING LANDSCAPE
OR SITE DRAINAGE SYSTEM

NO CONSTRUCTION SITE PERSONNEL
PARKING PROVIDED ON SITE,
WORKERS SHALL BE TRANSPORTED

FLOOD ZONING: X, M, D, U, & V	LOT AREA: 11,000 S.F.
BASE ELEV: +10.2' NGVD (110)	BASE ELEV: 19.12' NGVD (110)
LEGAL DESCRIPTION: Lots 15, 16, and 17, on Block "B", of SECTION "B" OF GOLDEN BEACH, according to the Plat thereof, as recorded in Plat Book 5, Page 12, of the Public Records of Miami-Dade County, Florida.	

NOTE: ELEVATIONS REFERENCED TO NGVD SURVEY ELEVATIONS

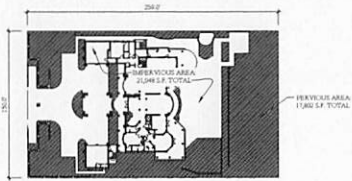
LEGEND:
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 +17.0' PROPOSED ELEVATION

Richard F. Sammons
 Digitally signed by Richard F. Sammons
 Date: 2024.02.23 10:36:19 -0500
 TOWN OF GIL BEACH FINAL 2/23 10/24/2024
 TOWN OF GIL BEACH REV. 11/18/2024
 TOWN OF GIL BEACH SUBMITTAL 11/18/2024

317 OCEAN BLVD.
 GOLDEN BEACH, FL

PROPOSED SITE PLAN ROOF PLAN
 1/8"=1'-0"
 A-001
 P.L.C.

PREPAC & ASSOCIATES
 11000 N.W. 11th Street, Suite 100
 Fort Lauderdale, FL 33304
 Phone: 954.344.1100
 Fax: 954.344.1101
 www.prepac.com



EFFECTIVE LOT AREA: 20,942 SF
 PERVIOUS AREA: 11,902 SF (56.9%)
 IMPERVIOUS AREA: 2,044 SF (9.7%)

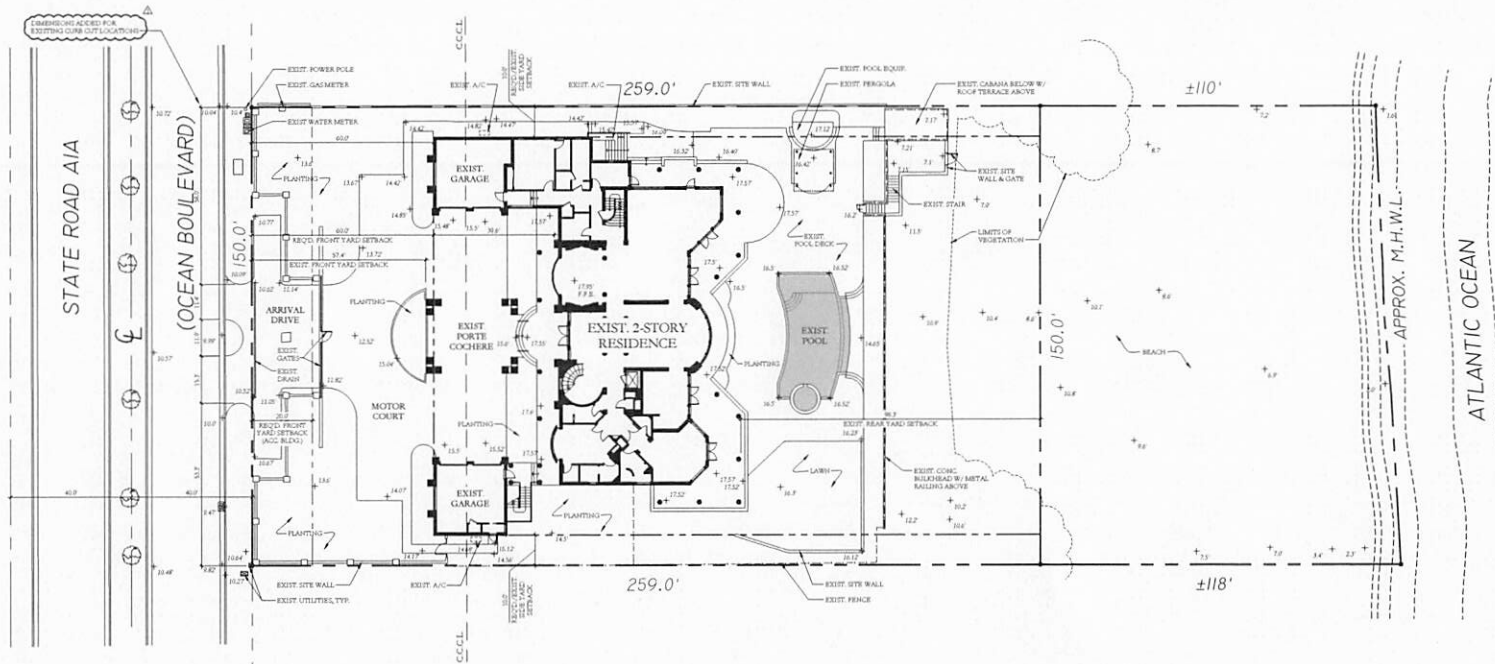
2 PERVIOUS/IMPERVIOUS AREA DIAGRAM
 1" = 50' 0"

AREA CALCULATIONS	CONDITIONED	UNCONDITIONED
BASEMENT		
NON HABITABLE AREA ¹	1,372 FT ²	1,552 FT ²
SUBTOTAL	1,372 FT ²	1,552 FT ²
FIRST FLOOR		
LIVING AREA ²	5,271 FT ²	
GARAGES	1,391 FT ²	2,031 FT ²
COVERED LOGGIAS		729 FT ²
PORTS COCHERE		
SUBTOTAL	6,662 FT ²	2,760 FT ²
SECOND FLOOR		
LIVING AREA ²	4,348 FT ²	
GUEST SUITE LIVING AREA ²	584 FT ²	428 FT ²
COVERED LOGGIAS		584 FT ²
MECHANICAL		774 FT ²
UNCOVERED TERRACES		
SUBTOTAL	4,932 FT ²	1,786 FT ²
HOUSE SUBTOTALS	12,594 FT ²	6,199 FT ²
GROSS TOTAL FLOOR AREA		18,844 FT²
GROSS TOTAL LIVING AREA		10,200 FT²

¹INCLUDES 1,042 FT² AT 2 STORY SPACES
²"LIVING AREA" AS DEFINED BY TOWN OF GOLDEN BEACH ZONING CODE INCLUDES THE INHABITABLE PORTIONS OF ANY RESIDENCE, BUT SHALL EXCLUDE GARAGES, PORCHES, PATIOS, REPAIRS, GATHERINGS, AND CABANAS
³AREAS OCCUPIED BELOW 10'± NGVD, INCLUDING ONLY GARAGES, STORAGE AREAS, A GYM, LAUNDRY ROOM, AND ONE BATHROOM SHALL NOT BE CONSIDERED HABITABLE AREAS

NOTE: ELEVATIONS REFERENCED TO NGVD SURVEY ELEVATIONS

LEGEND:
 + EXISTING ELEVATION
 + (TYPE) PROPOSED ELEVATION



1 EXISTING SITE PLAN FLOOR PLAN

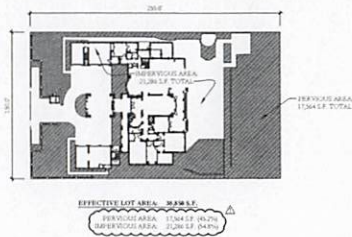


Richard F. Sammons
 Digitally signed by Richard F. Sammons
 Date: 2026.02.23 10:37:11 -05'00'
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 TOWN OF GOLDEN BEACH PERM. 2024/02/23
 TOWN OF GOLDEN BEACH PERM. 2024/02/23

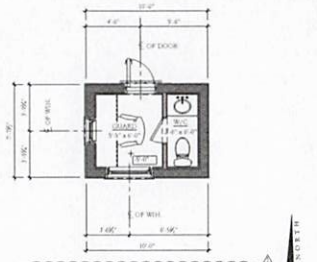
317 OCEAN BLVD.
 GOLDEN BEACH, FL

EXISTING SITE PLAN FLOOR PLAN
 EX-002

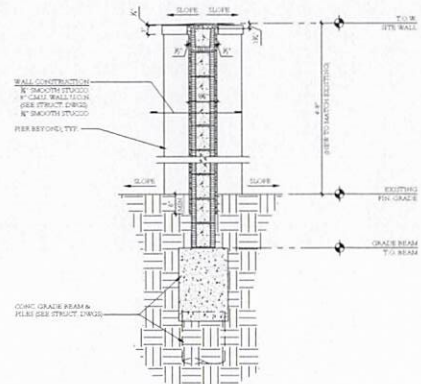
PREPARE & SUBMIT
 PROFESSIONAL SEAL AND SIGNATURE
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 12345
 EXPIRES 12/31/2026



2 PERVIOUS/IMPERVIOUS AREA DIAGRAM
1" = 50' 0"



3 PROPOSED GATEHOUSE PLAN
3/4" = 1' 0"



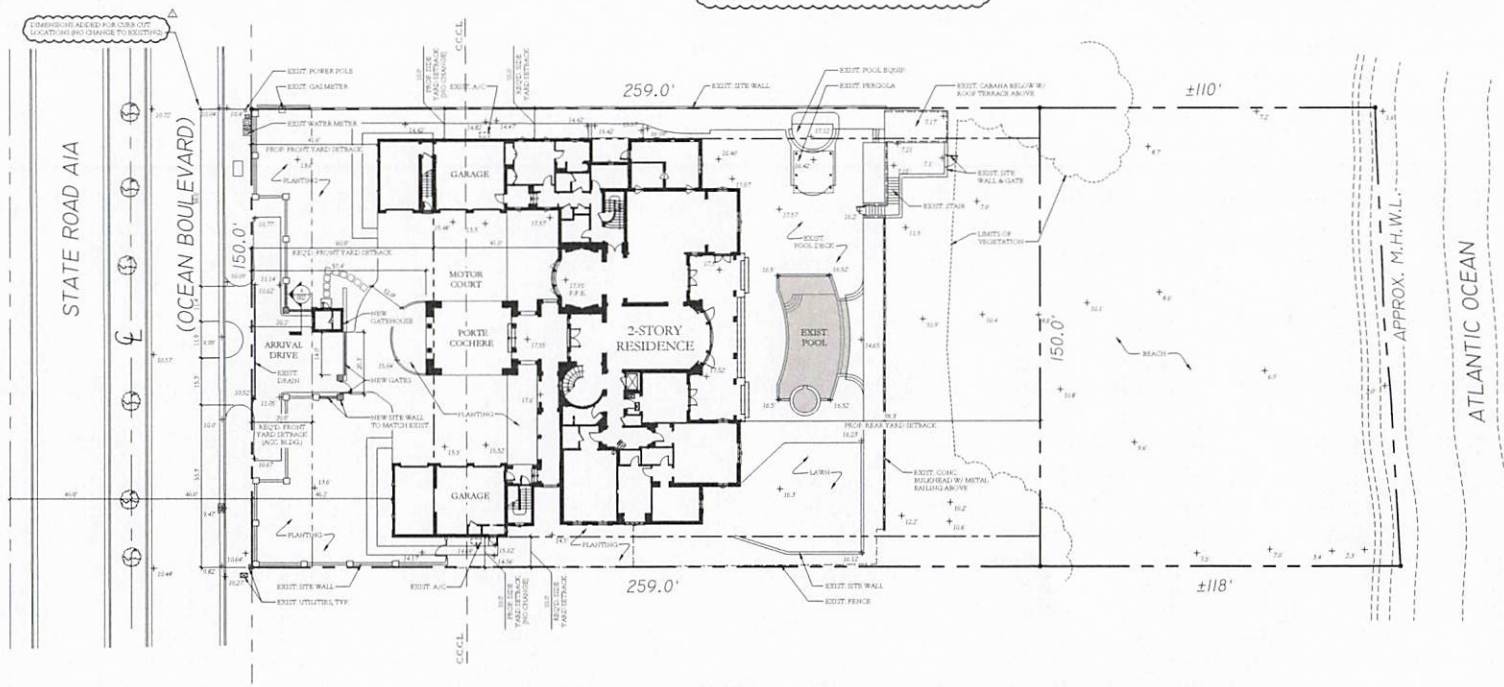
4 PROPOSED SITE WALL SECTION, TYP.
3/4" = 1' 0"

AREA CALCULATIONS	CONDITIONED	UNCONDITIONED
BASEMENT		
NON-HABITABLE AREA ¹	1,372 FT ²	1,552 FT ²
SUBTOTAL	1,372 FT ²	1,552 FT ²
FIRST FLOOR		
LIVING AREA ²	6,782 FT ²	
GYM/STAIR LIVING AREA ³	114 FT ²	
GARAGES	1,941 FT ²	1,334 FT ²
COVERED LOGGIAS		729 FT ²
PORCH COCHERE		
SUBTOTAL	8,837 FT ²	2,063 FT ²
SECOND FLOOR		
LIVING AREA ²	7,542 FT ²	
STAIR LIVING AREA ³	443 FT ²	
COVERED LOGGIAS		1,022 FT ²
MECHANICAL		584 FT ²
SUBTOTAL	7,985 FT ²	1,606 FT ²
HOUSE SUBTOTALS	16,194 FT ²	3,669 FT ²
GROSS TOTAL FLOOR AREA		23,415 FT²
⁴ GROSS TOTAL LIVING AREA		14,881 FT ²

¹ INCLUDES 366 FT² AT 2 STORY SPACES
² "LIVING AREA" AS DEFINED BY TOWN OF GOLDEN BEACH ZONING CODE INCLUDES THE INHABITABLE PORTIONS OF ANY RESIDENCE, BUT SHALL EXCLUDE GARAGES, PORCHES, PATIOS, SEPARATE GATHERINGS, AND CABANAS
³ AREAS OCCUPIED BELOW 18" NGVD, INCLUDING ONLY GARAGES, STORAGE AREAS, A COOL LAUNDRY ROOM, AND ONE BATHROOM SHALL NOT BE CONSIDERED HABITABLE AREAS

NOTE: ELEVATIONS REFERENCED TO NGVD SURVEY ELEVATIONS

LEGEND:
 +13.0' EXISTING ELEVATION
 +13.0' PROPOSED ELEVATION



1 PROPOSED SITE PLAN FLOOR PLAN
1/16" = 1' 0"

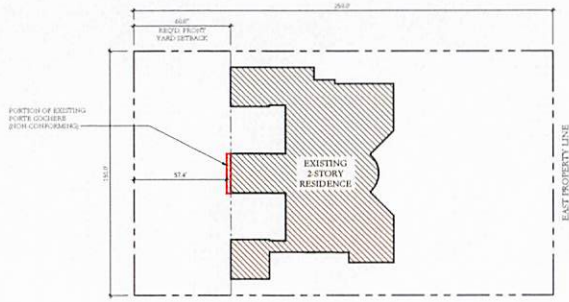
NO PROPOSED CHANGES TO EXISTING LANDSCAPE OR SITE DRAINAGE SYSTEM

NO CONSTRUCTION SITE PERSONNEL PARKING PROVIDED ON SITE, WORKERS SHALL BE TRANSPORTED

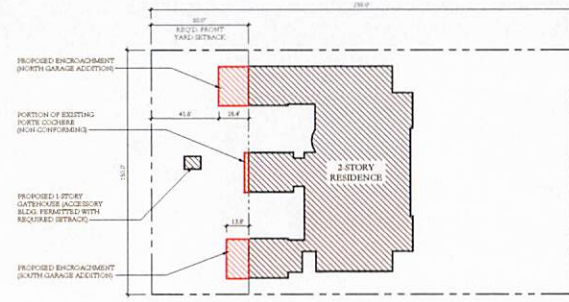
Richard F. Sammons
 Digitally signed by Richard F. Sammons
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 TOWN OF GOLDEN BEACH REV. 02/24/2026
 TOWN OF GOLDEN BEACH SUBMITTAL 02/23/2025

317 OCEAN BLVD.
 GOLDEN BEACH, FL

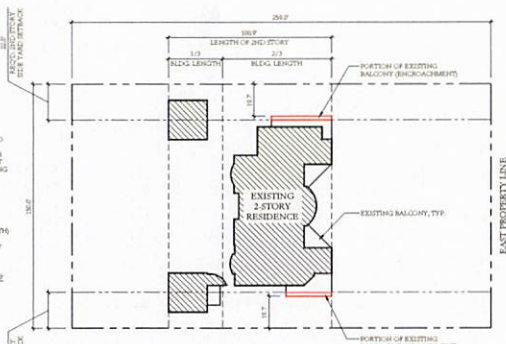
PROPOSED SITE PLAN FLOOR PLAN
 PER: RLS/RSB
 DATE: 02/23/2025
 AS NOTED: A-002
 FILE: 03



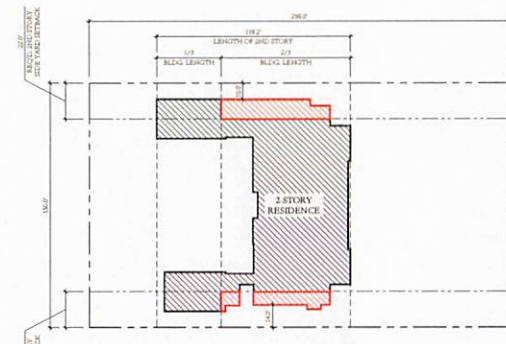
1 EXISTING BUILDING FOOTPRINT (1ST FLOOR)
1"=30' 0"



2 PROPOSED BUILDING FOOTPRINT (1ST FLOOR)
1"=30' 0"



3 EXISTING BUILDING FOOTPRINT (2ND FLOOR)
1"=30' 0"



4 PROPOSED BUILDING FOOTPRINT (2ND FLOOR)
1"=30' 0"



NOTE:
ALL THESE DIMENSIONS SHALL BE REQUIRED TO INCREASE THE SIDE SETBACK ALONG TWO SIDES OF THE LENGTH OF THE SECOND STORY BY ONE FOOT FOR EACH ONE FOOT OF BUILDING HEIGHT ABOVE THE FIRST 14 FEET.
MAX. BLDG. HEIGHT = 30' 0"
3' - 14' = 17'
INCREASE 2ND STORY SIDE YARD SETBACK BY 17' FOR 17' BLDG. LENGTH
REQUIRED SIDE YARD SETBACK = 10'
10' + 12' = 22'
2ND STORY SIDE YARD SETBACK = 22'

VARIANCE #1:

SEC. 66-69.1(f)(1) VARIANCE FOR FRONT YARD SETBACK OF 41.6' IN LIEU OF THE 60.0' MINIMUM REQUIRED (AND 57.4' EXISTING, NON-CONFORMING).

VARIANCE #2:

SEC. 66-69.1(b)(1)(c) VARIANCE FOR 2ND STORY SIDE YARD SETBACK OF 10.0' IN LIEU OF THE 22.0' MINIMUM REQUIRED (AND 19.7' EXISTING, NON-CONFORMING) AT THE NORTH YARD

-AND-

FOR 2ND STORY SIDE YARD SETBACK OF 14.0' IN LIEU OF THE 22.0' MINIMUM REQUIRED (AND 19.7' EXISTING, NON-CONFORMING) AT THE SOUTH YARD.

Richard F. Sammons
Digitally signed by Richard F. Sammons
Date: 2026.02.23 10:18:48 -0500
TOWN OF GIL BEAR FINAL JOB: 16/24/2025
TOWN OF GIL BEAR REV. 11/13/2025
TOWN OF GIL BEAR SUBMITTAL: 12/18/2025

317 OCEAN BLVD.
GOLDEN BEACH, FL

VARIANCE DIAGRAMS

FILE NO: Z-001
APPROVED: [Signature]



1 FRONT YARD SETBACK DIAGRAM

1" = 50' 0"

EXISTING BUILDING FOOTPRINT LOCATED WITHIN FRONT YARD SETBACK SHOWN IN REALITY

PROPOSED BUILDING FOOTPRINT AREA FOR WHICH VARIANCE IS REQUESTED IS SHOWN IN RED

EXISTING BUILDING FOOTPRINT LOCATED WITHIN FRONT YARD SETBACK SHOWN IN REALITY

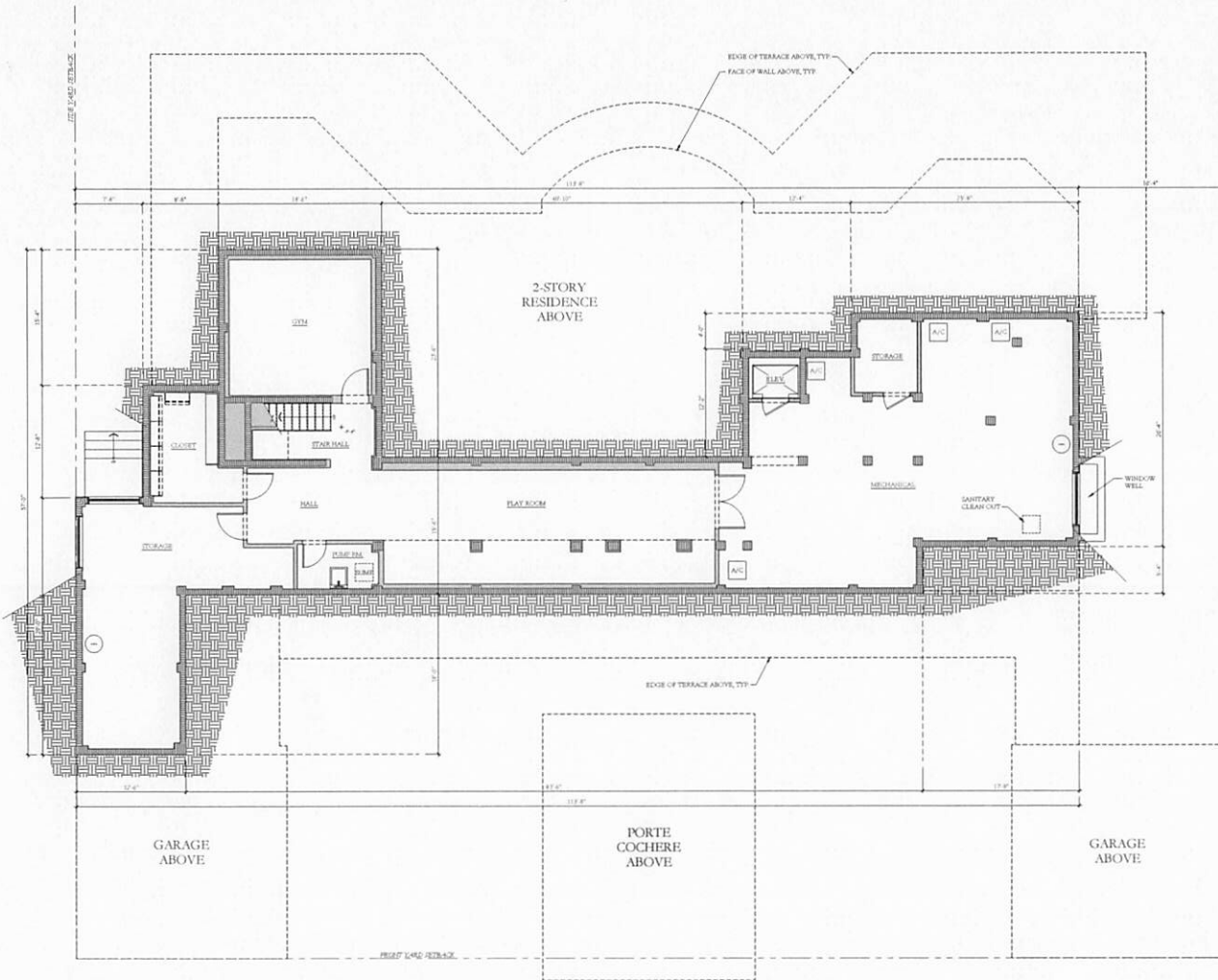
Richard F. Sammons
 Digitally signed by Richard F. Sammons
 Date: 2024.02.23 10:29:38 -0500
 TOWN OF GOLDEN BEACH FINAL REVIEW
 TOWN OF GOLDEN BEACH REVIEW
 TOWN OF GOLDEN BEACH SUBMITTAL

317 OCEAN BLVD.
 GOLDEN BEACH, FL

PROJECT TITLE	
FRONT YARD SETBACK DIAGRAM	
DATE	ISSUE NO.
1/28/24/2024	
SCALE	Z-002
1" = 50' 0"	
BY	
CSJ	

PAISAL & ASSOCIATES
 ARCHITECTS & ENGINEERS
 1000 N. W. 10th St., Suite 100
 Ft. Lauderdale, FL 33304
 Phone: 954.524.1111
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NOTE: ELEVATIONS REFERENCED TO T.O. EXIST FIRST FLOOR SLAB (+0'-0")

LEGEND
 + ELEV. EXISTING ELEVATION TO SLAB/BEAM
 + PROP. PROPOSED ELEVATION TO SLAB/BEAM

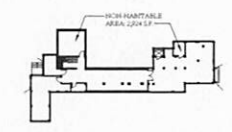
Richard F. Sammons
 Digitally signed by Richard F. Sammons
 Date: 2026.02.23 10:40:31 -0500
 TOWN OF GIBRALTAR FINAL JOB: 22/24/2025
 TOWN OF GIBRALTAR: 21/01/2025
 TOWN OF GIBRALTAR SUBMITTAL: 12/10/2025

317 OCEAN BLVD.
 GOLDEN BEACH, FL

EXISTING BASEMENT FLOOR PLAN
 JOB: EX-100
 AS NOTED: EX-100
 FILED:

PARPAZ & SAMMONS
 ARCHITECTS
 1000 S. PALM BEACH BLVD., SUITE 100
 WEST PALM BEACH, FL 33411
 TEL: 561-833-1100
 WWW.PARPAZANDSAMMONS.COM

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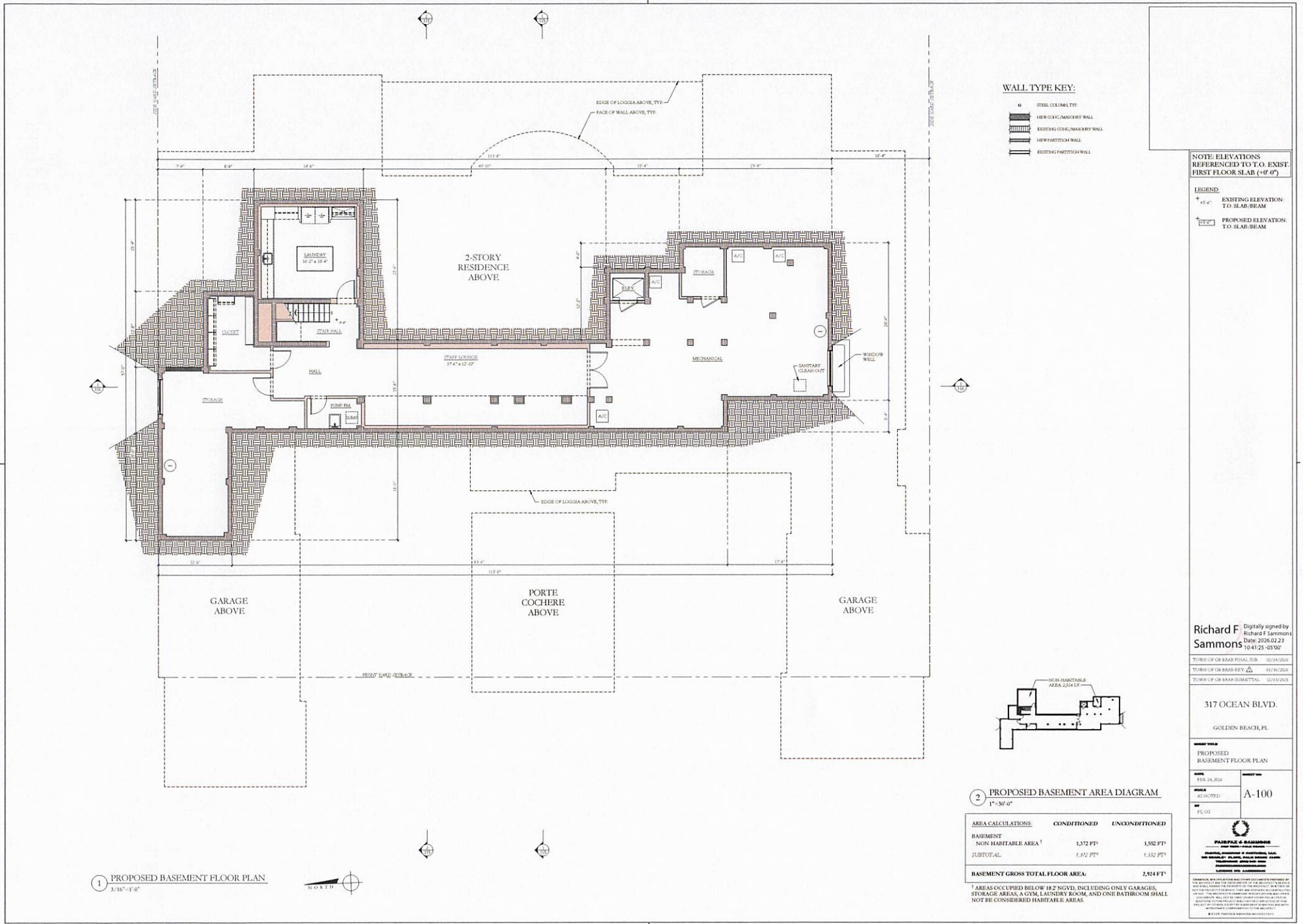
2 EXISTING BASEMENT AREA DIAGRAM
 1"=50'-0"

AREA CALCULATIONS	CONDITIONED	UNCONDITIONED
BASEMENT NON-HABITABLE AREA*	1,572 FT ²	1,512 FT ²
TOTAL	1,572 FT ²	1,512 FT ²
BASEMENT GROSS TOTAL FLOOR AREA	3,084 FT ²	

* AREAS OCCUPIED BELOW 18" NGVD, INCLUDING ONLY GARAGES, STORAGE AREAS, A CYCLING LAUNDRY ROOM, AND ONE BATHROOM SHALL NOT BE CONSIDERED HABITABLE AREAS

1 EXISTING BASEMENT FLOOR PLAN
 3/16"=1'-0"





Richard F. Sammons
 Digitally signed by Richard F. Sammons
 Date: 2026.02.23 10:41:25 -05'00'

317 OCEAN BLVD.
 GOLDEN BEACH, FL.

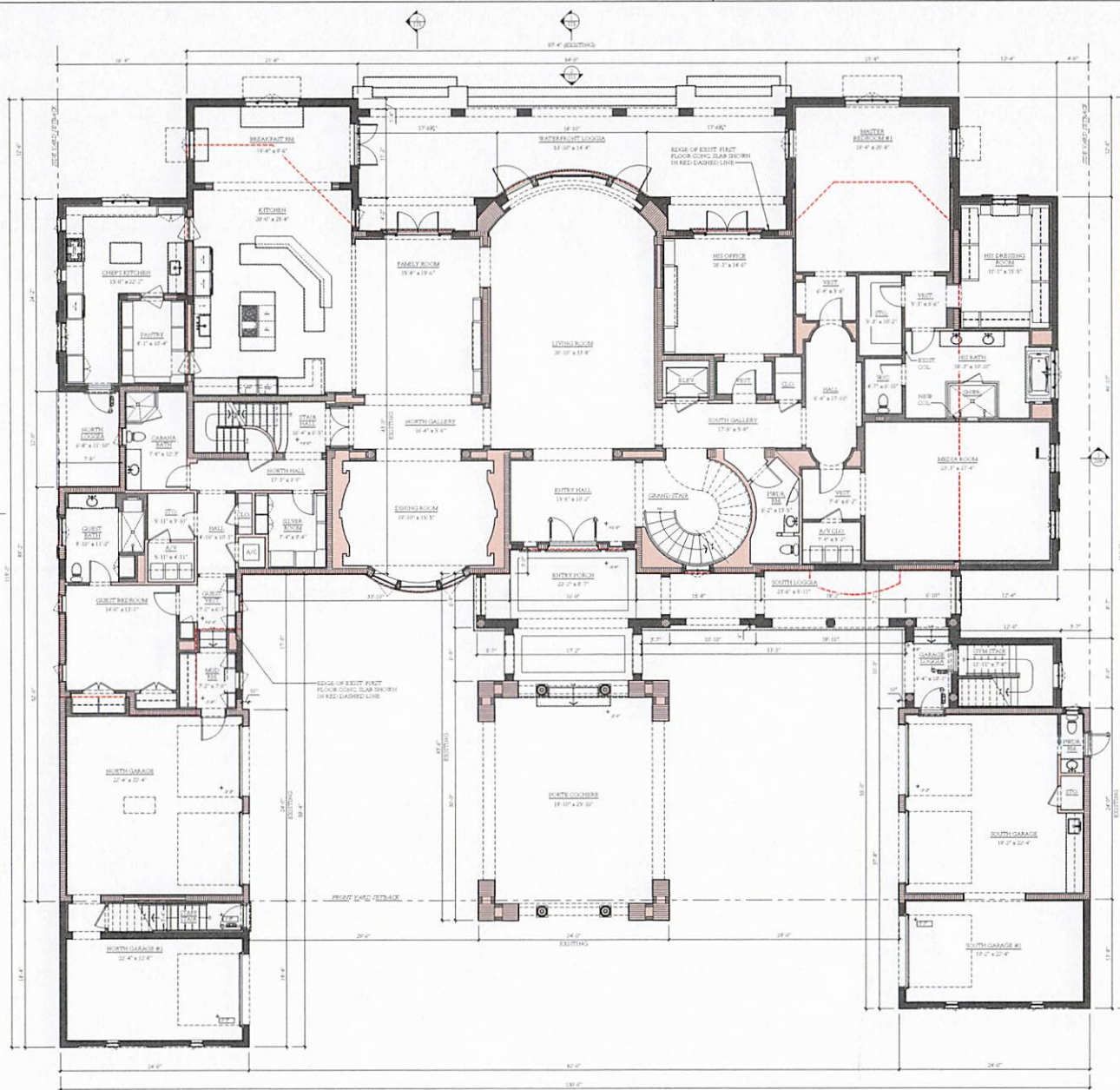
PROPOSED
 BASEMENT FLOOR PLAN
 FEB. 24, 2026
 AS NOTED: A-100
 PLS. CD

PARPAZ & BARRON
 ARCHITECTS

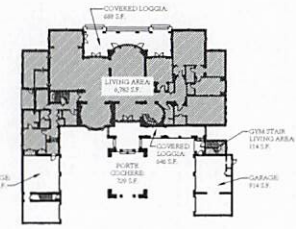
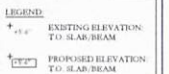
REGISTERED ARCHITECTS IN THE STATE OF FLORIDA
 LICENSE NO. 12588
 1000 N. W. 11th St., Suite 1000, Ft. Lauderdale, FL 33304
 TEL: 954.341.1111 FAX: 954.341.1112
 WWW.PARPAZANDBARRON.COM

1 PROPOSED BASEMENT FLOOR PLAN
 3/16"=1'-0"





NOTE: ELEVATIONS REFERENCED TO T.O. EXIST FIRST FLOOR SLAB (+0.00')



2 PROPOSED FIRST FLOOR AREA DIAGRAM
17'-30 1/8"

AREA CALCULATIONS:	CONDITIONED	UNCONDITIONED
FIRST FLOOR LIVING AREA	6,782 FT ²	
GYM STAIR LIVING AREA	114 FT ²	
GARAGES	1,941 FT ²	
COVERED LOGGIAS		1,134 FT ²
PORCH LOGGIA		720 FT ²
SUBTOTAL	8,837 FT²	2,564 FT²
FIRST FLOOR GROSS TOTAL FLOOR AREA:	11,401 FT²	

"LIVING AREA" AS DEFINED BY TOWN OF GOLDEN BEACH ZONING CODE, INCLUDES THE SHAREABLE PORTIONS OF ANY RESIDENCE, BUT SHALL EXCLUDE GARAGES, PORCHES, PATIOS, SEPARATE GATHOUSES, AND CABANAS

Richard F. Summons Digitally signed by Richard F. Summons
Date: 2025.02.23 10:43:14 -0500

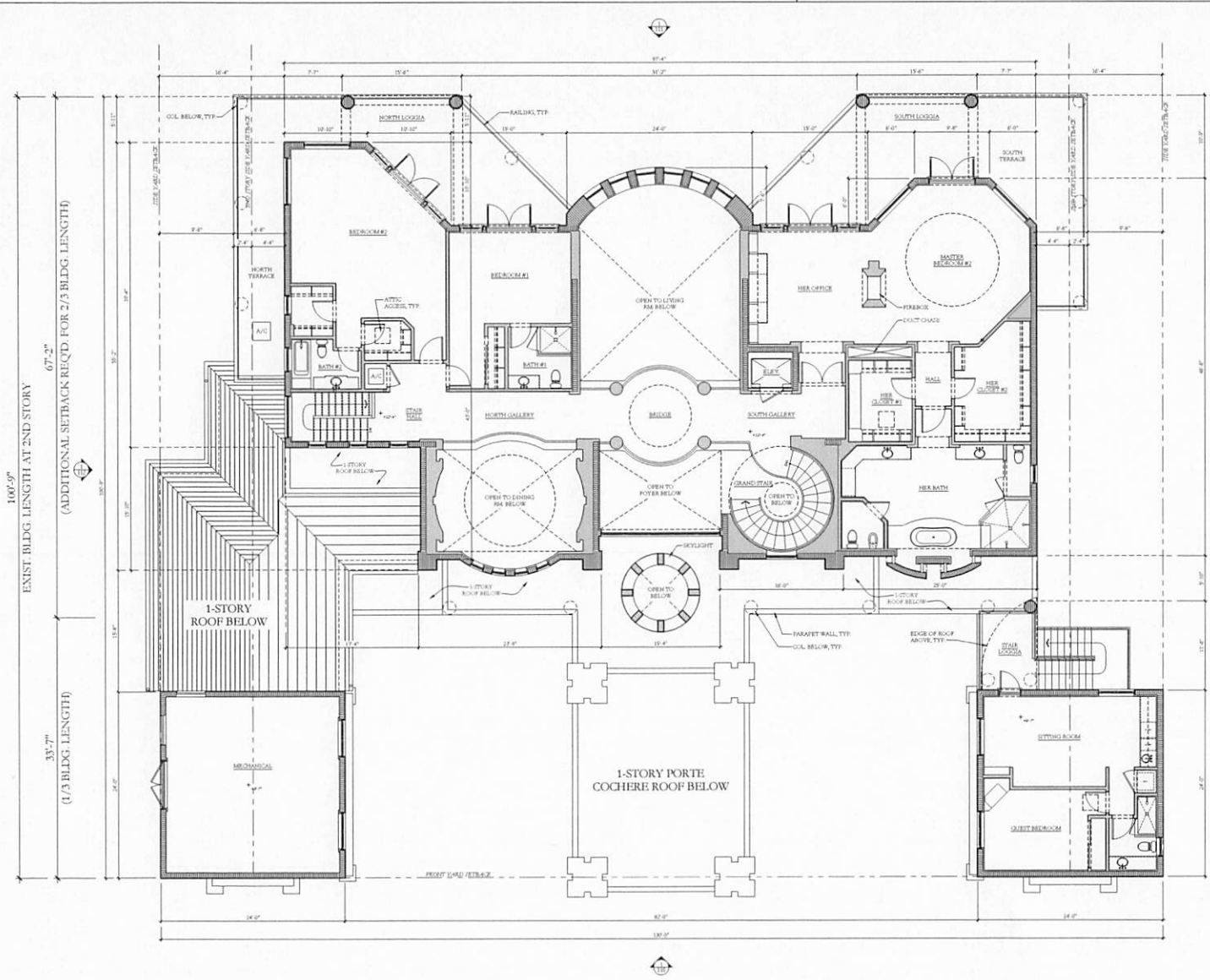
317 OCEAN BLVD.
GOLDEN BEACH, FL

PROPOSED FIRST FLOOR PLAN
DATE: 2/23/25
SCALE: AS SHOWN
FILE NO: A-101

PERMITS & INSURANCE
Professional Seal of Richard F. Summons, P.E., FLS
Professional Seal of Richard F. Summons, P.E., FLS
Professional Seal of Richard F. Summons, P.E., FLS
Professional Seal of Richard F. Summons, P.E., FLS
Professional Seal of Richard F. Summons, P.E., FLS

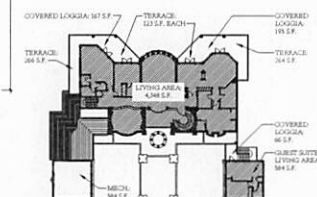
1 PROPOSED FIRST FLOOR PLAN
3/16" = 1'-0"





100'-9"
EXIST. BLDG. LENGTH AT 2ND STORY
67'-2"
(ADDITIONAL SETBACK REQ'D. FOR 2/3 BLDG. LENGTH)
33'-7"
(1/3 BLDG. LENGTH)

1 EXISTING SECOND FLOOR PLAN
3/16"=1'-0"



2 EXISTING SECOND FLOOR AREA DIAGRAM
1"=30'-0"

AREA CALCULATIONS	CONDITIONED	UNCONDITIONED
SECOND FLOOR LIVING AREA*	4,348 FT ²	
GUEST SUITE LIVING AREA*	584 FT ²	
COVERED LOGGIAS		428 FT ²
MECHANICAL		54 FT ²
UNCOVERED TERRACES		776 FT ²
TOTAL TOTAL	4,932 FT ²	1,258 FT ²
SECOND FLOOR GROSS TOTAL FLOOR AREA:	6,190 FT²	

* INCLUDES 1,942 FT² AT 2-STORY SPACES
* LIVING AREA* AS DEFINED BY TOWN OF GOLDEN BEACH ZONING CODE INCLUDES THE INHABITABLE PORTIONS OF ANY RESIDENCE, BUT SHALL EXCLUDE GARAGES, PORCHES, PATIOS, SEPARATE GATEHOUSES, AND CABANAS.

NOTE: ELEVATIONS REFERENCED TO T.O. EXIST. FIRST FLOOR SLAB (+0'-0")

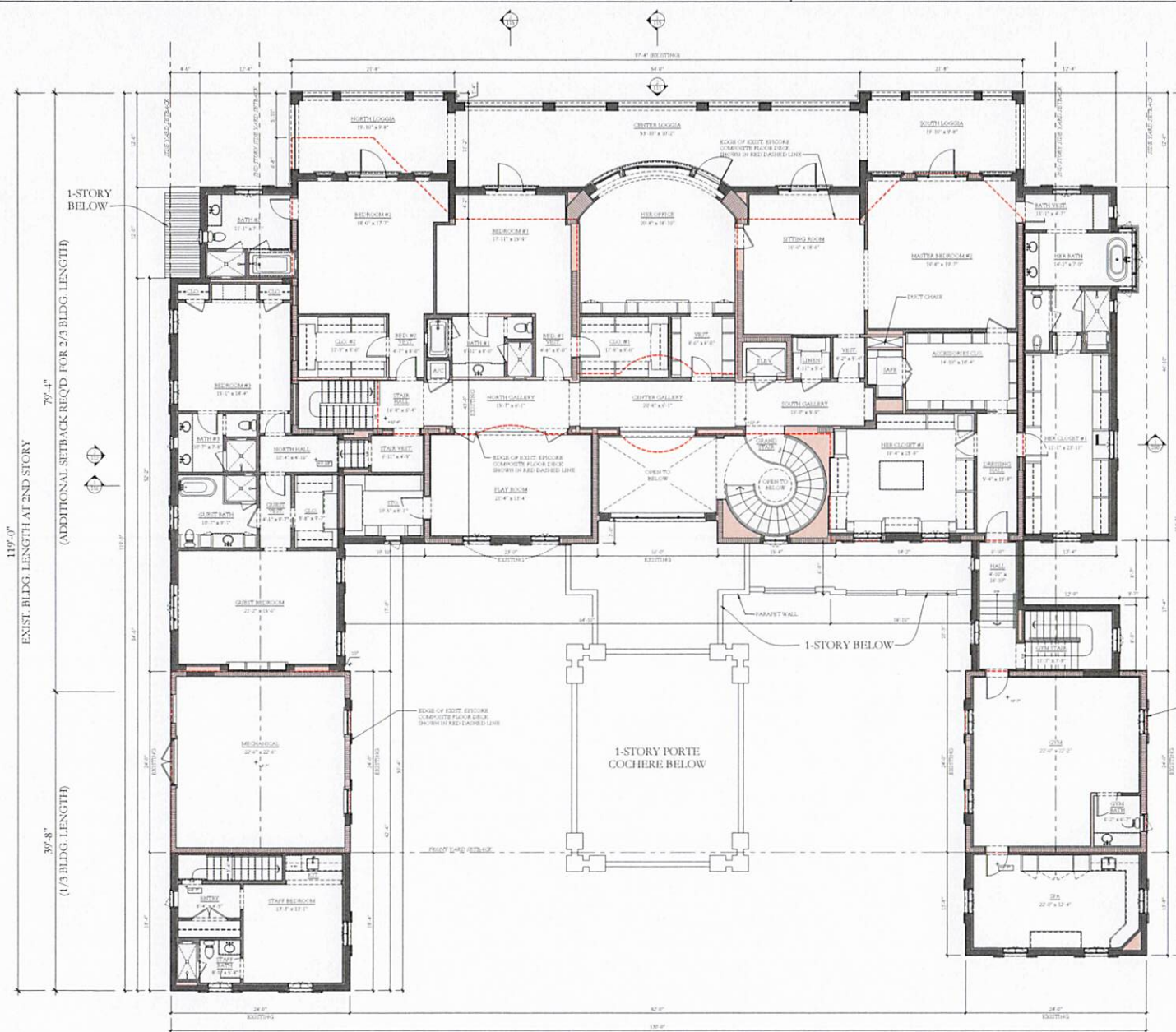
LEGEND
+3'-6" EXISTING ELEVATION TO SLAB/BEAM
+0'-0" PROPOSED ELEVATION TO SLAB/BEAM

Richard F. Sammons
Digitally signed by Richard F. Sammons
Date: 2026.02.23 10:44:05 -05'00'
TOWN OF GOLDEN BEACH PERMITS DIVISION
TOWN OF GOLDEN BEACH KEY PLAN
TOWN OF GOLDEN BEACH ZONING DEPARTMENT

317 OCEAN BLVD.
GOLDEN BEACH, FL

EXISTING SECOND FLOOR PLAN
PBA 24,258
AREA AT HOTEL: EX-102
PL 02

PERKINS + SAMPSON
ARCHITECTS
1000 N. GULF BLVD., SUITE 200
GOLDEN BEACH, FL 32143
TEL: 321.733.1111
WWW.PERKINS+SAMPSON.COM



WALL TYPE KEY:



NOTE: ELEVATIONS REFERENCED TO T.O. EXIST. FIRST FLOOR SLAB (+0.0')

LEGEND
 +4.5' EXISTING ELEVATION TO SLAB BEAM
 +12.0' PROPOSED ELEVATION TO SLAB BEAM



2 PROPOSED SECOND FLOOR AREA DIAGRAM
 1"=30' 0"

AREA CALCULATIONS	CONDITIONED	UNCONDITIONED
SECOND FLOOR		
LIVING AREA	7545 FT ²	
STAFF LIVING AREA	445 FT ²	
COVERED LOGGIAS		1,022 FT ²
MECHANICAL		644 FT ²
SUBTOTAL	7,995 FT²	1,666 FT²
SECOND FLOOR GROSS TOTAL FLOOR AREA	9,591 FT²	

* INCLUDES 306 FT² AT 2-STORY SPACES
 ** LIVING AREA AS DEFINED BY TOWN OF GOLDEN BEACH ZONING CODE. INCLUDES THE INHABITABLE PORTIONS OF ANY RESIDENTIAL, BUT SHALL EXCLUDE GARAGES, PORCHES, PATIOS, SEPARATE GATEHOUSES, AND CABANAS.

Richard F. Sammons
 Digitally signed by Richard F. Sammons
 Date: 2026.02.23 10:45:03 -05'00'

TOWN OF GOLD BEACH FINAL USE: RESIDENCE
 TOWN OF GOLD BEACH KEY: RESIDENCE
 TOWN OF GOLD BEACH SUBMITTAL: RESIDENCE

317 OCEAN BLVD.
 GOLDEN BEACH, FL

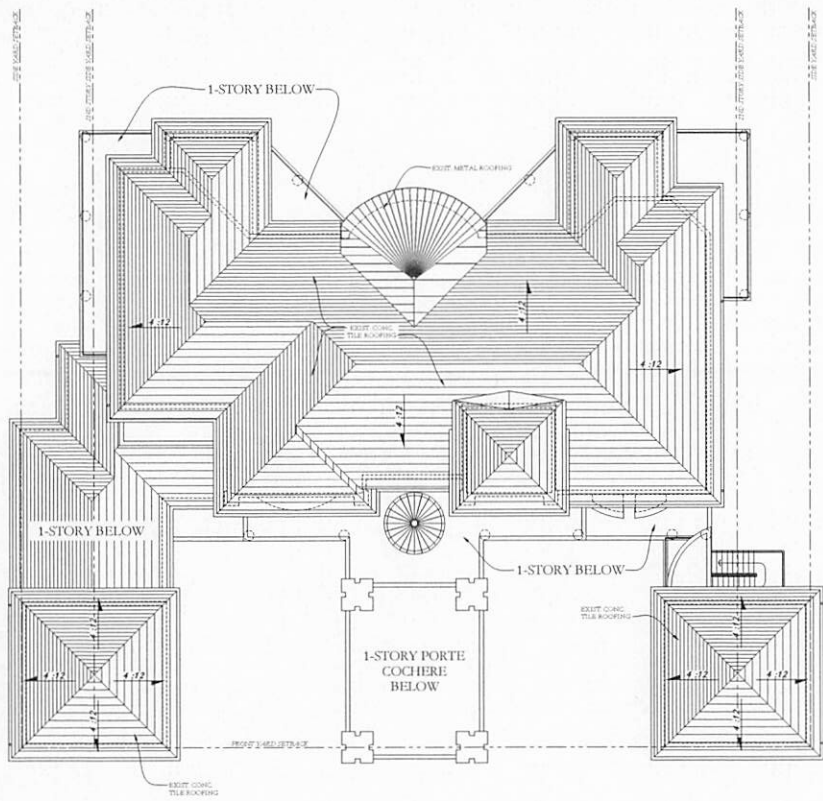
PROPOSED SECOND FLOOR PLAN

DATE: 1/28/2026
 SHEET: A-102
 FILE: 02

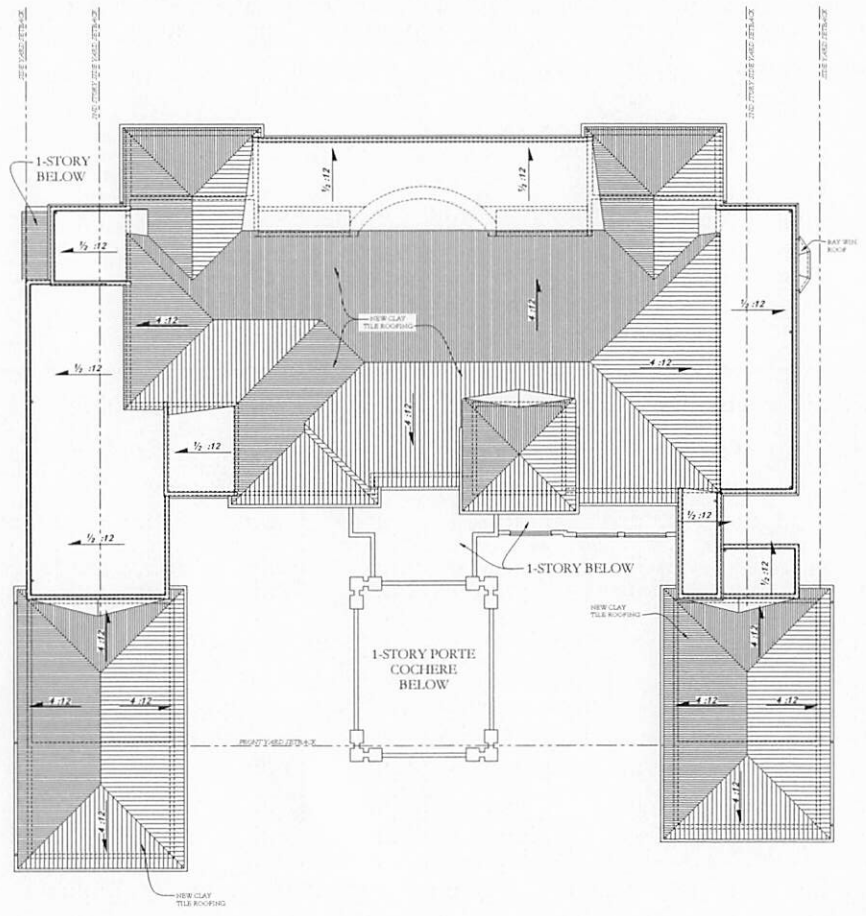
PROFESSIONAL SEAL
 RICHARD F. SAMMONS
 ARCHITECT
 1000 N. W. 10TH AVENUE, SUITE 100
 BOCA RATON, FL 33431
 (561) 991-1111
 www.rfsammons.com

1 PROPOSED SECOND FLOOR PLAN
 3/16"=1'-0"





1 EXISTING ROOF PLAN
1/8" = 1' 0"



2 PROPOSED ROOF PLAN
1/8" = 1' 0"



Richard F. Sammons
 Digitally signed by Richard F. Sammons
 Date: 2026.02.23 10:45:58 -0500
 TOWN OF GIBRALTAR FINAL JOB: 22040008
 TOWN OF GIBRALTAR REVISED: 22040008
 TOWN OF GIBRALTAR SUBMITTAL: 22040008

317 OCEAN BLVD.
 GOLDEN BEACH, FL

ISSUE TITLE
 EXISTING & PROPOSED ROOF PLAN

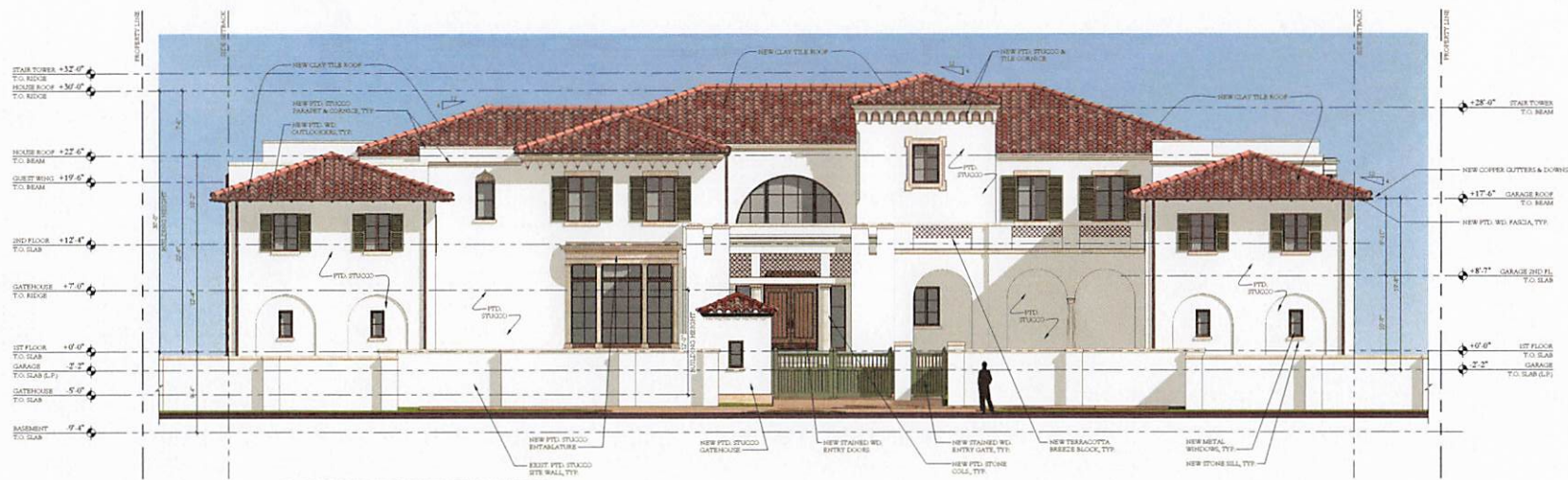
DATE	ISSUE NO.
FEB 24, 2026	1
SCALE	AS SHOWN
BY	A-103
FOR	FILED

PERPALL & SANDERSON
 ARCHITECTS
 1000 N. W. 10th Street, Suite 100
 Ft. Lauderdale, FL 33304
 (954) 562-1111
 www.perpall.com

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1 EXISTING WEST ELEVATION AT STREET
3/16"=1'-0"



2 PROPOSED WEST ELEVATION AT STREET
3/16"=1'-0"

NOTE: ELEVATIONS REFERENCED TO T.O. EXIST. FIRST FLOOR SLAB (+0'-0'')

Richard F Sammons
Digitally signed by Richard F Sammons
Date: 2026.02.23 10:46:52 -05'00'
TOWN OF GARDNER FINAL D.D. 02/24/2026
TOWN OF GARDNER REV. 01/18/2025
TOWN OF GARDNER SUBMITTAL 12/03/2023

317 OCEAN BLVD.
GOLDEN BEACH, FL

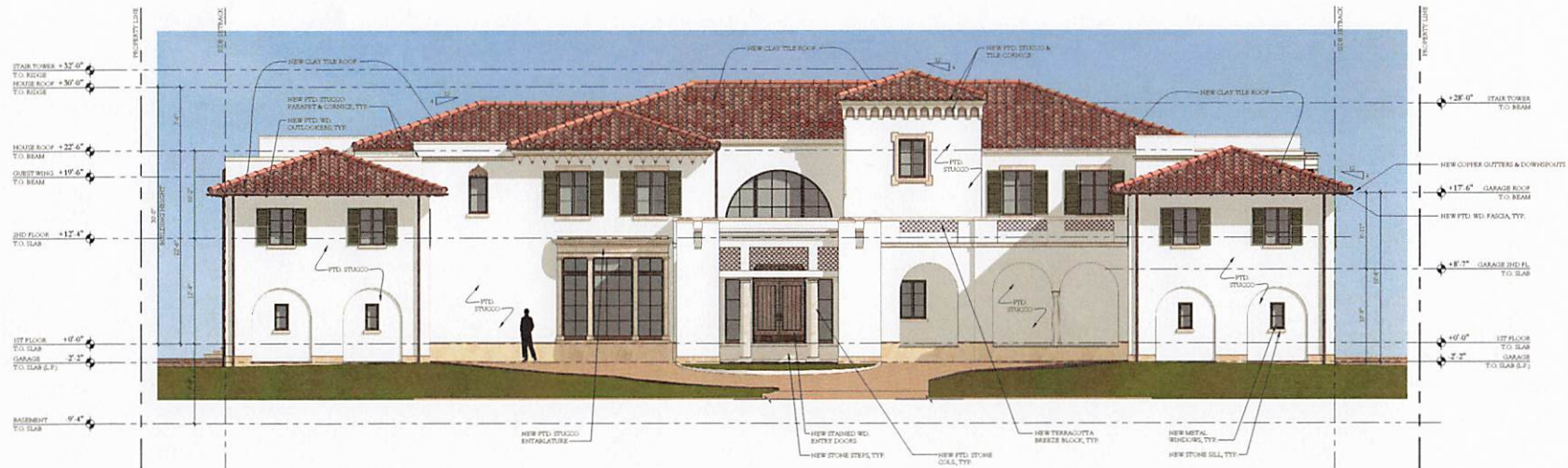
PROJECT INFO	
DATE	2/23/26
SCALE	3/16"=1'-0"
NO.	A-110a
BY	RF/S

FAIRFAX & BARNHURST
ARCHITECTS & ENGINEERS
1000 N. W. 10th Street, Suite 100
Fort Lauderdale, FL 33304
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www.fairfaxandbarnhurst.com

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1 EXISTING WEST ELEVATION
3/16" = 1' 0"



2 PROPOSED WEST ELEVATION
3/16" = 1' 0"

NOTE: ELEVATIONS REFERENCED TO T.O. EXIST FIRST FLOOR SLAB (+0' 0")

Richard F. Sammons
 Digitally signed by Richard F. Sammons
 Date: 2025.02.23 10:48:03 -0500
 TOWN OF GIBRALTAR PITAL 218 42242628
 TOWN OF GIBRALTAR REV 11/18/2024
 TOWN OF GIBRALTAR SUBMITTAL 12/18/2025

317 OCEAN BLVD.
 GOLDEN BEACH, FL

PROJECT NO. 25-01-008
 SHEET NO. A-110b
 DATE 02/23/25

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1 EXISTING EAST ELEVATION
3/16"=1'-0"



2 PROPOSED EAST ELEVATION
3/16"=1'-0"

NOTE: ELEVATIONS REFERENCED TO T.O. EXIST FIRST FLOOR SLAB (+0'-0")

Richard F. Sammons
Digitally signed by Richard F. Sammons
Date: 2026.02.23 10:48:57 -05'00'
TOWN OF GR BARR FINAL JOB: 25/24/058
TOWN OF GR BARR REV: 03/25/26
TOWN OF GR BARR SUBMITTAL: 04/23/26

317 OCEAN BLVD.
GOLDEN BEACH, FL

PROJECT TITLE
EXISTING & PROPOSED EAST ELEVATION
JOB NO.
DATE: 2/26/26
SCALE: 3/16"=1'-0"
SHEET NO.: A-111
PL: 02

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1 EXISTING NORTH ELEVATION
3/16"=1'-0"



2 PROPOSED NORTH ELEVATION
3/16"=1'-0"

NOTE: ELEVATIONS REFERENCED TO T.O. EXIST. FIRST FLOOR SLAB (+0'-00")

Richard F. Sammons
Digitally signed by Richard F. Sammons
Date: 2026.02.23 10:49:59 -05'00'

TOWN OF GOLD BEACH FINAL REVIEW
TOWN OF GOLD BEACH REVIEW
TOWN OF GOLD BEACH SUBMITTAL

317 OCEAN BLVD.

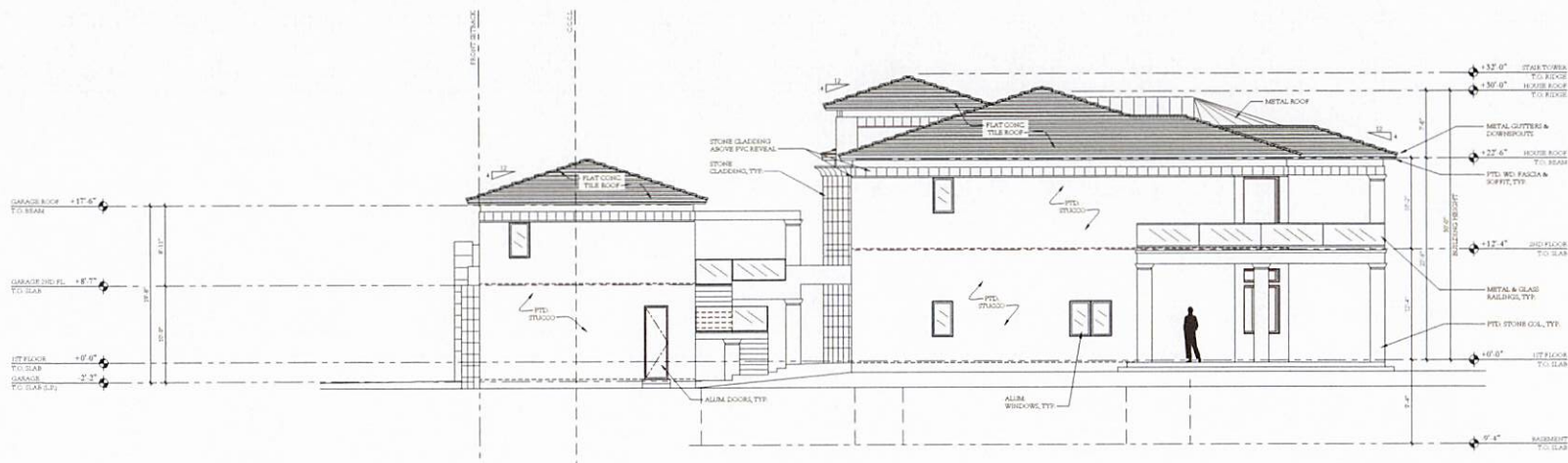
GOLDEN BEACH, FL

EXISTING AND PROPOSED NORTH ELEVATION

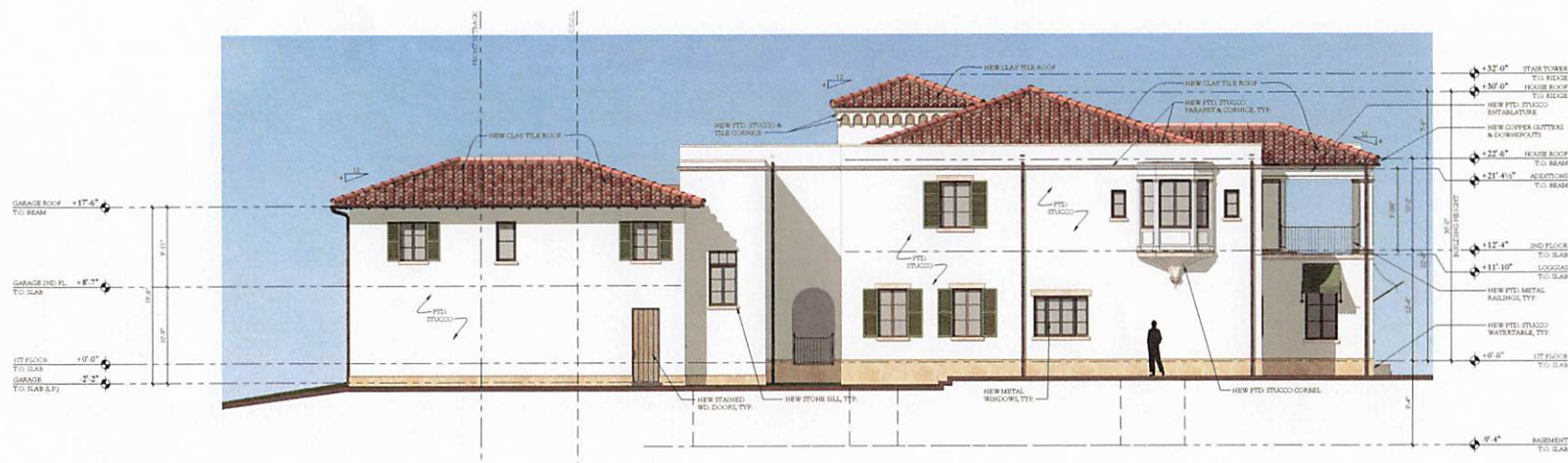
DATE: 2/23/26
SCALE: 3/16"=1'-0"
PROJECT NO.: A-112
FILE NO.: PL-03

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1 EXISTING SOUTH ELEVATION
3/16"=1'-0"



2 PROPOSED SOUTH ELEVATION
3/16"=1'-0"

NOTE: ELEVATIONS REFERRED TO O. EXIST FIRST FLOOR SLAB (+0' 0")

Richard F Sammons
Digitally signed by Richard F Sammons
Date: 2026.02.23 10:50:56 -05'00'

TOWN OF GOLD BEACH FINAL PLAN REVIEW
TOWN OF GOLD BEACH REVIEW
TOWN OF GOLD BEACH SUBMITTAL REVIEW

317 OCEAN BLVD.
GOLDEN BEACH, FL

PROJECT TITLE
EXISTING & PROPOSED SOUTH ELEVATION
DATE: FEB. 24, 2026
SCALE: 3/16"=1'-0"
SHEET NO.: A-113
PL. 02

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Tel: 954.341.1111
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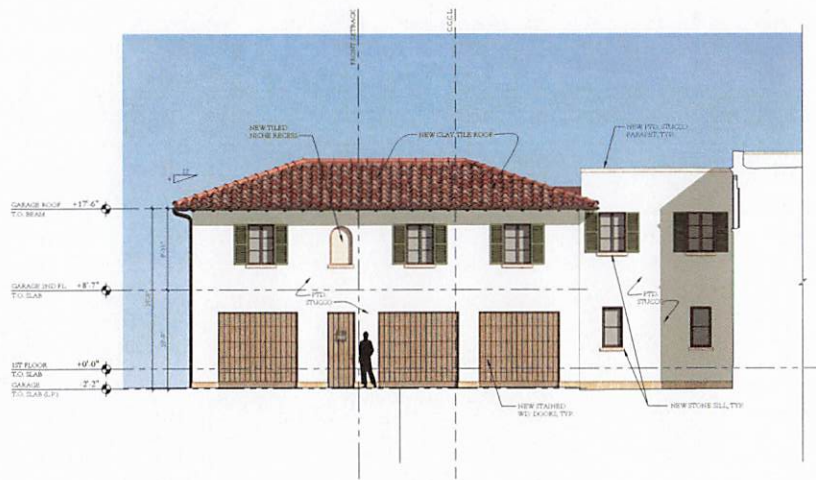
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1 EXISTING NORTH GARAGE, VIEW FROM PORTE COCHERE
3/16"=1'-0"



2 EXISTING SOUTH GARAGE, VIEW FROM PORTE COCHERE
3/16"=1'-0"



3 PROPOSED NORTH GARAGE, VIEW FROM PORTE COCHERE
3/16"=1'-0"



4 PROPOSED SOUTH GARAGE, VIEW FROM PORTE COCHERE
3/16"=1'-0"

NOTE: ELEVATIONS REFERENCED TO T.O. EXIST FIRST FLOOR SLAB (+0.0')

Richard F. Sammons
Digitally signed by Richard F. Sammons
Date: 2026.02.23 10:51:57 -0500

TOWN OF GRAND BEACH, FL
TOWN OF GRAND BEACH, FL
TOWN OF GRAND BEACH, FL

317 OCEAN BLVD.
GOLDEN BEACH, FL

EXISTING & PROPOSED PORTECOCHERE ELEVATIONS

DATE: 02/23/26
SCALE: 3/16"=1'-0"
PROJECT: A-114

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ARCHITECTS, INC.
1000 N. W. 10th Ave., Suite 1000
Fort Lauderdale, FL 33304
TEL: 954.575.1111
WWW.FAIRFAXANDSAMMONS.COM



1 BUILDING SECTION AT ENTRY HALL, LOOKING EAST
3/16"=1'-0"

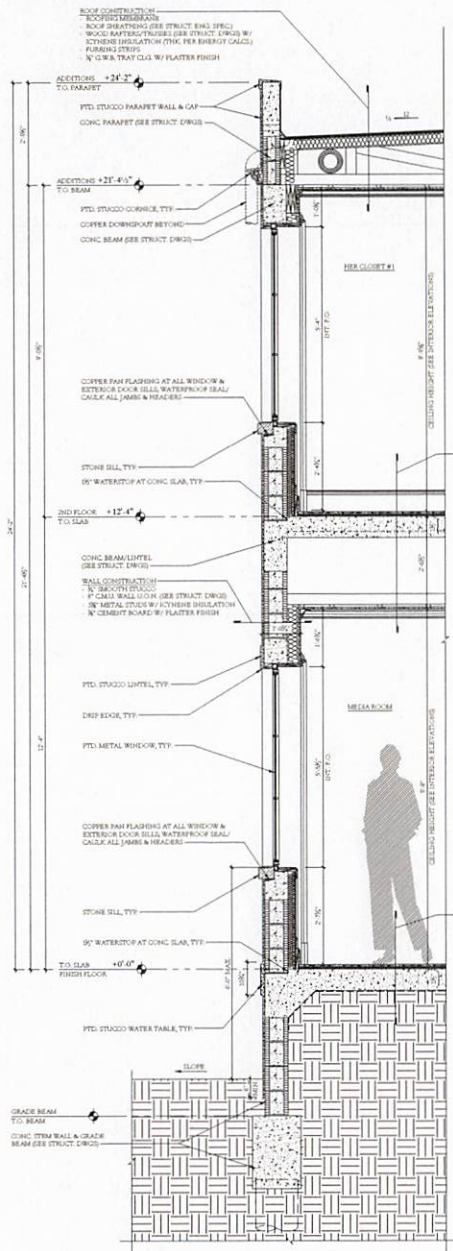
NOTE: ELEVATIONS REFERENCED TO T.O. EXIST. FIRST FLOOR SLAB (+0.0')

Richard F. Sammons
 Digitally signed by Richard F. Sammons
 Date: 2026.02.23 10:53:51 -05'00'

317 OCEAN BLVD.
 GOLDEN BEACH, FL

BUILDING SECTION
 LOOKING EAST
 SHEET NO. A-116

PARFAL & SAMMONS
 ARCHITECTS
 1000 N. W. 10th St., Suite 1000
 Ft. Lauderdale, FL 33304
 Phone: (954) 561-1111
 Fax: (954) 561-1112
 www.parfal.com



PAINTED STUCCO WALLS
OFF-WHITE



CLAY TILE ROOF
BUFF & BROWN HUES ONLY (NO REDS)



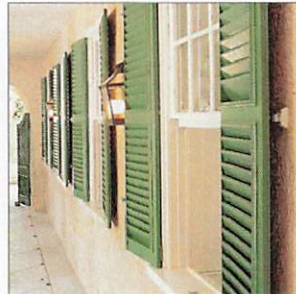
BRONZE WINDOWS & DOORS
BRONZE COLOR



PAINTED METAL RAILINGS
CHARCOAL



STONE SURROUNDS & DETAILS
LIMESTONE



WOOD SHUTTERS
GREEN



STAINED WOOD DOORS & GATES
WHITWASHED CYPRESS

NOTES:
 STYLE: MEDITERRANEAN
 WALL COLOR: STUCCO: OFF-WHITE
 ROOF COLOR: BUFF & BROWN
 DOOR & WINDOW COLOR: BRONZE
 SHUTTER COLOR: GREEN
 RAILING COLOR: CHARCOAL

1 PROPOSED 2-STORY WALL SECTION, TYP.
3/4"=1'-0"

NOTE: ELEVATIONS REFERENCED TO T.O. EXIST FIRST FLOOR SLAB (+0.0')

Richard F. Sammons
 Digitally signed by Richard F. Sammons
 Date: 2026.02.23 10:54:47 -05'00'
 TOWN OF GARDNER FISCAL YEAR: 2025/2026
 TOWN OF GARDNER REV. DATE: 11/2025
 TOWN OF GARDNER BUDGETAL: 12/15/2025

317 OCEAN BLVD.
 GOLDEN BEACH, FL

PROPOSED WALL SECTION AND MATERIALS & COLOR PALETTE

DATE: 02.23.26	PROJECT NO: A-200
SCALE: AS SHOWN	
DESIGNER: RFS	

FAIRFAX & SAMMONS
 ARCHITECTS, INC.
 1000 S. PALM BEACH BLVD., SUITE 100
 PALM BEACH, FL 33480
 PHONE: 561-832-1111
 WWW.FAIRFAXANDSAMMONS.COM

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1 PROPOSED VIEW FROM STREET TOWARD HOUSE
N.T.S.

Richard F. Sammons
Digitally signed by Richard F. Sammons
Date: 2026.02.23 10:55:44 -05'00'

TOWN OF GIBRALTAR FINAL SUB. 02/23/2026
TOWN OF GIBRALTAR REV. 02/23/2026
TOWN OF GIBRALTAR SUBMITTAL 02/23/2026

317 OCEAN BLVD.

GOLDEN BEACH, FL

PROJECT TITLE
PROPOSED VIEW FROM STREET TOWARD HOUSE

DATE	DATE ON
FEB. 24, 2026	
SCALE	V-001
HTS	
AS	
FS	



FAIRFAX & SAMMONS, INC.
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1 PROPOSED VIEW FROM POOL TOWARD HOUSE
N.T.S.

Richard F. Sammons Digitally signed by Richard F. Sammons
Date: 2028.02.23 10:56:40 -05'00'

TOWNSHIP OF GIB BIRAN PISCAL 10/24/2028
TOWNSHIP OF GIB BIRAN REV. 10/28/2028
TOWNSHIP OF GIB BIRAN SUBMITTAL 10/28/2028

317 OCEAN BLVD.

GOLDEN BEACH, FL

PROPOSED VIEW FROM POOL TOWARD HOUSE

FILE NO.	PROJECT NO.
228-14-008	
MAP	V-002
HTS.	
PL	

PAINTAL & SAMMONS
ARCHITECTS

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Golden Beach, FL 32135
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