

**TOWN OF GOLDEN BEACH, FLORIDA**

**RESOLUTION NO. 3048.26**

**A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING A VARIANCE REQUEST FOR THE PROPERTY LOCATED AT 334 SOUTH PARKWAY, GOLDEN BEACH, FLORIDA 33160; TO PERMIT THE DOCK TO BE CONSTRUCTED 9'-6" FROM THE SOUTH PROPERTY LINE AND 9'-2" FROM THE NORTH PROPERTY LINE, WHERE A MINIMUM 10' SETBACK IS REQUIRED, AND TO PERMIT THE DOCK TO EXTEND OUTSIDE THE TOWN'S D-5 TRIANGLE WHERE THE CODE REQUIRES THAT THE DOCK REMAIN WITHIN THE D-5 TRIANGLE.**

**WHEREAS**, the applicant, Jill Aronsky Fischer Trs. ("the applicant"), filed a Petition for Variances/exceptions, 1). Sec. 46-87. - Proximity of lot lines. (a) No part of any dock or any other structure shall be placed nearer than ten feet to a line formed by the projection of the sidelines of the lot, and 2) 46-87 (b) No portion of a dock, boat lift, hydrohoist or any other method of elevation, mooring piles, boat davits, dolphin piles or any other structure, and no portion of a boat elevated above the water moored at a dock or seawall, shall protrude into the waterway, unless it is within the triangle formed by connecting the points indicated below, that form a triangle where the waterfront property line is the base of the triangle and the triangle sides extend towards the waterway at a 45 degree angle until the lines intersect on the waterway side of the lot, but never to exceed 25 feet into the waterway from each of the lot property line. Neither elevated boats nor docks shall encroach in any instance within the side setback area. The base of the triangle shall be determined as follows:(1) The base of the D5 triangle for all lots is set back five feet inside each of the side property lines.(2) When the lot line is curved, the base shall be measured at the straight line, forming the chord, connecting the two

side property lines (or the two side setback lines) at the point where they cross the seawall. The side setback shall be determined based upon the length of the chord as provided in this subsection, above; and

**WHEREAS**, the Town Council approved the applicant's request to allow the dock to be constructed 9'-6" from the south property line and 9'-2" from the north property line, when 10' are required, and to permit the dock and vessel to extend outside the D-5 triangle, when the dock should be within the D-5 triangle; and

**WHEREAS**, these variances and exceptions are for the property at 334 South Parkway, Golden Beach, FL. 33160 (Golden Beach Section "E", Lot 37, Block G, as recorded in PB 8-122, of the Public Records of Miami-Dade County, (Folio No. 19-1235-005-0640 (the "Property"); and

**WHEREAS**, the Town's Building Regulation Advisory Board held an advertised public hearing on the Petition for Variance/Exception and recommended denial of the vessel and dock encroachments by the Town Council; and

**WHEREAS**, a public hearing of the Town Council was advertised and held, as required by law, and all interested parties were given an opportunity to be heard; and

**WHEREAS**, the Town Council, having considered the evidence presented, finds that the Petition of Variance meets the criteria of the applicable codes and ordinances to the extent the application is granted herein.

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE  
TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:**

**Section 1. Recitals Adopted.** Each of the above-stated recitals are hereby adopted and confirmed.

**Section 2. Approval.** The Petition for Variance to permit each of the requested variances/exceptions is hereby granted.

**Section 3. Conditions.** The Petition for Exception/Variance as granted is subject to the following conditions:

(1) Applicant shall record a certified copy of this Resolution in the public records of Miami-Dade County; and the construction shall be completed substantially in accordance with those certain plan pages S1 through S7 by Adolfo Gonzalez, P.E., dated 7/9/2025, for the property located at 334 South Parkway, Golden Beach, FL. 33160

**Section 4. Implementation.** That the Building and Zoning Director is hereby directed to make the necessary notations upon the maps and records of the Town of Golden Beach Building and Zoning Department and to issue all permits in accordance with the terms and conditions of this Resolution. A copy of this Resolution shall be attached to the building permit application documents.

**Section 5. Effective Date.** This Resolution shall be effective immediately upon adoption.

**Sponsored by Town Administration.**

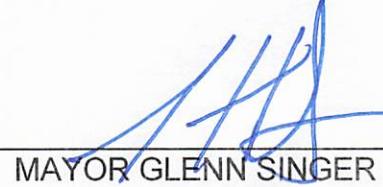
The Motion to adopt the foregoing Resolution was offered by Vice Mayor Lusskin, seconded by Councilmember Bernstein and on roll call the following vote ensued:

Mayor Glenn Singer	<u>Aye</u>
Vice Mayor Judy Lusskin	<u>Aye</u>
Councilmember Kenneth Bernstein	<u>Aye</u>
Councilmember Bernard Einstein	<u>Aye</u>
Councilmember Jessie Mendar	<u>Aye</u>

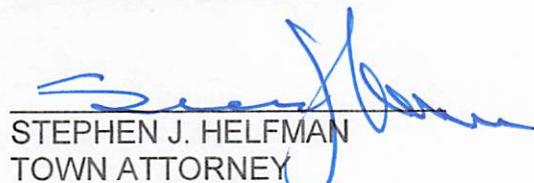
PASSED AND ADOPTED by the Town Council of the Town of Golden Beach,  
Florida, this 20<sup>th</sup> day of January, 2026.

ATTEST:

  
LISSETTE PEREZ  
TOWN CLERK

  
MAYOR GLENN SINGER

APPROVED AS TO FORM  
AND LEGAL SUFFICIENCY:

  
STEPHEN J. HELFMAN  
TOWN ATTORNEY



# TOWN OF GOLDEN BEACH

100 Ocean Boulevard  
Golden Beach, FL 33160

## MEMORANDUM

**Date:** January 20, 2026

Item Number:

2

**To:** Honorable Mayor Glenn Singer &  
Town Council Members

**From:** Alexander Diaz,  
Town Manager

*Alex B*

**Subject:** Resolution No. 3048.26 – Variance Request for 334 South Parkway, Golden Beach, FL 33160 (Seeking relief from encroachment of the dock and moored vessel into the side setbacks and outside the D-5 triangle.)

### Recommendation:

It is recommended that the Town Council allow the applicant the opportunity to seek approval of the variance request presented in Resolution No. 3048.26

### Background and History:

The applicant is requesting three variances from Town Code Sections 46-55 and 46-87(a) & (b).

The first variance request seeks approval to allow a vessel to be moored a minimum of 2 feet from the south property line and 11 inches from the north property line, where a minimum setback of 10 feet from each property line is required.

The second variance request seeks approval to allow the dock to be constructed 9 feet 6 inches from the south property line and 9 feet 2 inches from the north property line, where a minimum setback of 10 feet is required.

The third variance request seeks approval to allow the dock and vessel to extend outside the Town's D-5 triangle, whereas the Town Code requires that both remain within the D-5 triangle.

The Building Regulation Advisory Board considered the variance requests at its meeting on December 9, 2025. A motion to recommend approval was made; the motion failed by a vote of 4-0.

### Attachments:

- Resolution
- Zoning Review – Staff Report
- Notice of Hearing
- Building Regulation Advisory Board Application
- Copy of resident notification listing
- Summary minutes

Financial Impact: None

# TOWN OF GOLDEN BEACH

## BUILDING AND ZONING DEPARTMENT

### MEMORANDUM

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**TO:** Building Regulatory Advisory Board

**FROM:** Christopher M. Gratz, AICP, Consulting Planner

**DATE:** December 9<sup>th</sup>, 2025

**SUBJECT:** Mooring and Dock Variances, 334 South Parkway

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#### GENERAL PROPERTY INFORMATION

**Land Use Designation:** Low Density Residential

**Zoning District:** Zone Three (3)

**Address:** 334 South Parkway

**Legal Description:** Lot 37, Block "G", Section "E" of Golden Beach, According to the Plat thereof, as recorded in Plat Book 8, Page 122 of the Public Records of Miami-Dade County.

**Lot Information:** Under-sized lot, 45' waterway frontage by 175' deep, 10,475.5 square feet (0.24 acres)

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#### APPLICATION INFORMATION

**Owner:** Jill Aronsky Fischer Trust and The JF Descendants Trust

**Applicant:** Kirk Lofgren, Ocean Consulting, LLC

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#### REQUEST

**Variance #1 FROM:** Town Code §46-55 which requires that vessels, floating docks, or other structures that are moored or installed at a dock or seawall: (2) shall maintain a setback of at least ten feet from the waterward projection of the side property lines, and (3) shall be maintained entirely within the established setback;

**TO:** allow vessel to be moored a minimum of two (2) feet from the south and 11 inches from the north property lines when a minimum of 10 feet is required;

**Variance #2 FROM:** Town Code §46-87 (a) which requires that no part of any dock or any other structure shall be placed nearer than ten feet to a line formed by the projection of the sidelines of the lot;

**TO:** allow a new dock to be constructed 9'-6" from the south and 9'-2" from the north property lines;

**Variance #3 FROM:** Town Code §46-87(b) (aka D5 Triangle) which requires that no portion of a dock, boat lift, hydrohoist or any other method of elevation, mooring piles, boat davits, dolphin piles or any other structure, and no portion of a boat elevated above the water moored at a dock or seawall, shall protrude into the waterway, unless it is within the triangle formed by connecting the points indicated below, that form a triangle where the waterfront property line is the base of the triangle and the triangle sides extend towards the waterway at a 45 degree angle until the lines intersect on the waterway side of the lot, but never to exceed 25 feet into the waterway from each of the lot property line. Neither elevated boats nor docks shall encroach in any instance within the side setback area;

**TO:** to allow a new dock to be constructed within the D5 triangle and a boat moored within in it.

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#### HISTORY

The property contains a 5,316 sq. ft. 2-story home constructed in 2011 according to the Miami-Dade County Property Appraiser. The property was sold in 2023 and Town Code §46-86 requires that the seawall be raised to meet current requirements. The existing dock and seawall were permitted and constructed not in compliance with the Town Code in 2010, but meeting Miami-Dade County DERM requirements.

On November 11<sup>th</sup>, 2025, the Town Manager approved an encroachment of the seawall into the waterway by 1'-4", pursuant to Ordinance 605.24, which allows an encroaching legal non-conforming seawall and supporting structures to be repaired, reconstructed or replaced in its current location so long as the location does not pose a threat to navigation as determined by the Town Manager or his designee.

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#### APPLICATION DETAILS

Title to the property was transferred and the Town Code requires the seawall be raised to meet the height requirement and the dock has to be replaced to do the construction. Upon making the application it was found the records show the seawall and dock were permitted when the design was not compliance with the Town Code, but meets Miami-Dade County DERM requirements. The waterfront frontage of the lot is only 45' and curved on the Grand Canal with 150' of right-of-way; the owner's wish to moor a 40' vessel and rebuild the dock and raise the seawall in its current location.

The applicant is proposing to:

- Remove the existing concrete dock, decking, piles, and accessories.
- Leave the seawall in place with an encroachment of 1'-4" and raise it to the required 4.425' NAVD
- Construct a new concrete dock in the footprint of the previous one, setback 9'-6" from the south and 9'-2" from the north property lines and within the D5 Triangle
- Moor a 40' vessel two (2) feet from the south and 11 inches from the north property lines in the required 10' side setbacks and D5 Triangle

## ANALYSIS

### DIVISION 2. - VARIANCES

#### **§66-41. - Authorized, general procedure.**

(a) The Building Regulation Advisory Board may recommend pursuant to the hearing as provided in §66-42 the granting of a Variance by the Town Council from the terms of the zoning provision of this chapter if it is not contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions will result in unnecessary and undue hardship. In order to recommend any Variance from the terms of this chapter, the Board shall find the following:

(1) The Variance is in fact a Variance from a zoning regulation as set forth within this chapter.

*The request is for variances from zoning regulations.*

(2) Special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same district.

*This property is in Zone 3 and the Town's requirements are applicable to all properties.*

(3) The special conditions and circumstances do not result from the actions of the applicant.

*The variance requests are a direct result of the applicant's desire to leave the existing seawall in place and construct a dock in the previous location.*

(4) Granting the Variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands or structures in the same district.

*The granting of the variance directly confers special privileges to the owner others do not have.*

(5) Literal interpretation of the provisions of this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant.

*No evidence has been presented that an undue hardship would be incurred by rebuilding the dock in the correct location or not being able to moor a 40' vessel.*

(6) The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure.

*The requested variance minimum the applicant needs to avoid reconstructing the seawall in the correct location and elevation. No evidence has been presented that making the seawall comply with the Town Code is not possible or moor smaller vessel.*

(7) The granting of the Variance will be in harmony with the general intent and purpose of this chapter and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

*The intent of the Town Code is to promote the construction of luxury homes; consistency in the placement of seawalls is an inherent quality of a luxury home community. Nothing that is proposed presents an apparent detriment to the public; the navigability of the waterway will not be compromised and 40' vessel fits within the property lines.*

(b) In recommending the granting of any Variance, the Building Regulation Advisory Board may prescribe appropriate conditions and safeguards in conformity with this Code. Violation of the conditions and safeguards, when made a part of the terms under which the Variance is granted, shall be deemed a violation of the Code of Ordinances. The Building Regulation Advisory Board may prescribe a reasonable time limit wherein the Construction of the structure subject to the Variance is required to be completed.

***No conditions are recommended.***

(c) Under no circumstances shall the Building Regulation Advisory Board recommend the granting of a Variance or a use not generally permitted in the district involved or any use expressly or by implication prohibited by the terms of this Code in the district. No nonconforming use of neighboring lands, structures or buildings in the same district and no permitted use of lands, structures or buildings in other districts shall be considered grounds for a Variance.

***The request is not for a use variance.***

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#### **RECOMMENDATION**

The applicant has failed to provide any substantial competent evidence to support the request and fails to meet the criteria required by the Town Code for the granting of a variance; therefore denial of the application is recommended.



**TOWN OF GOLDEN BEACH  
NOTICE OF PUBLIC HEARING**

The **BUILDING ADVISORY BOARD** and the **TOWN COUNCIL** of the **TOWN OF GOLDEN BEACH** will hold a public hearing on the following proposal:

3 Variance Request(s)  
Accessory Structures

Construction of dock, seawall, and cap.

1. Relief from Town Code §46-55 which requires that vessels, floating docks, or other structures that are moored or installed at a dock or seawall: (2) shall maintain a setback of at least ten feet from the waterward projection of the side property lines, and (3) shall be maintained entirely within the established setback;

TO: allow vessel to be moored a minimum of two (2) feet from the south and 11 inches from the north property lines when a minimum of 10 feet is required;

2. Relief from Town Code §46-87 (a) which requires that no part of any dock or any other structure shall be placed nearer than ten feet to a line formed by the projection of the sidelines of the lot;

TO: allow a new dock to be constructed 9'-6" from the south and 9'-2" from the north property lines;

3. Relief from Town Code §46-87(b) (aka D5 Triangle) which requires that no portion of a dock, boat lift, hydrohoist or any other method of elevation, mooring piles, boat davits, dolphin piles or any other structure, and no portion of a boat elevated above the water moored at a dock or seawall, shall protrude into the waterway, unless it is within the triangle formed by connecting the points indicated below, that form a triangle where the waterfront property line is the base of the triangle and the triangle sides extend towards the waterway at a 45 degree angle until the lines intersect on the waterway side of the lot, but never to exceed 25 feet into the waterway from each of the lot property line. Neither elevated boats nor docks shall encroach in any instance within the side setback area;

TO: to allow a new dock to be constructed within the D5 triangle and a boat moored within in it.

**JOB ADDRESS:** 334 South Parkway, Golden Beach, FL, 33160  
**OWNER ADDRESS:** 334 South Parkway, Golden Beach, FL, 33160  
**REQUESTED BY:** Jill Aronsky Fischer Trs  
The JF Descendants Trust  
**LEGAL DESCRIPTION:** Lot 37 & Blk G, GB Sect E, PB 8-122  
**FOLIO NO.:** 19-1235-005-0640

The **BUILDING ADVISORY BOARD** will consider this item:

Golden Beach Town Hall  
100 Ocean Blvd.  
Golden Beach, FL 33160  
<https://us02web.zoom.us/j/89291108015?pwd=NS8rWnJhN21mSUdlcmFadHErei8yZz09>  
Meeting ID: 892 9110 8015  
Passcode: 752288  
December 9, 2025 at 6pm

The **TOWN COUNCIL** will consider this item:

Golden Beach Town Hall  
100 Ocean Blvd., 3<sup>rd</sup> floor  
Golden Beach, FL 33160  
January 20, 2026 at 6pm -check the website for zoom meeting information

If you wish to submit written comments for consideration, they should be submitted to the Office of the Golden Beach Town Manager, prior to the scheduled meeting. If you have any questions regarding the proposed action, you may contact the Building Department at (305) 932-0744.

Dated: November 21, 2025

Lissett Hovira for Linda Epperson, Assistant Town Manager

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE COUNCIL, BOARD OR COMMITTEE WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE, AFFECTIONATE PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. ANY INDIVIDUAL WHO BELIEVES HE OR SHE HAS A DISABILITY WHICH REQUIRES A REASONABLE ACCOMMODATION IN ORDER TO PARTICIPATE FULLY AND EFFECTIVELY IN A MEETING OF THE BUILDING REGULATION BOARD MUST SO NOTIFY THE TOWN CLERK, AT (305) 932-0744 AT LEAST 24 HOURS PRIOR TO THE DATE OF THE MEETING.

ALAN A BEHAR &W CINDY  
354 GOLDEN BEACH DR  
Golden Beach, FL 33160-2243

STEVEN BLOCK TRS  
140 SOUTH COLUMBIA AVE  
COLUMBUS, OH 43209

SOLOMON YAGUDAEV &W IRENE  
363 GOLDEN BEACH DR  
Golden Beach, FL 33160-2225

ALICE K SCHLOSS TR  
4525 NO PARK  
INDIANAPOLIS, IN 46205

ALAN BENENSON  
HELEN GAY BENENSON  
304 S PARKWAY  
Golden Beach, FL 33160-2220

ALEJANDRO D ARAUJO &  
PATRICIA DE GREGORIO  
367 GOLDEN BEACH DR  
GOLDEN BEACH, FL 33160-2225

JEAN JACQUES MYARA  
DEBORAH MYARA  
342 SOUTH PARKWAY  
GOLDEN BEACH, FL 33160 USA

LAS PRINCESAS CORP  
296 SOUTH PARKWAY  
GOLDEN BEACH, FL 33160 USA

DAVID M LAZARUS TRS  
373 CENTER ISLAND LAND TR  
JEFFREY M PERLOW TRS  
20295 NE 29 PL 200  
AVENTURA, FL 33180

GEORGE RAIS &W KAREN  
338 S PARKWAY  
GOLDEN BEACH, FL 33160-2220

NEW PALMS 515 LLC  
20900 NE 30 AVE 200 27  
AVENTURA, FL 33180

ARIEL KADOCH  
SOPHIA KADOCH  
375 GOLDEN BEACH  
GOLDEN BEACH, FL 33160-2225

JILL ARONSKY FISCHER TRS  
THE JF DESCENDANTS TRUST  
334 S PARKWAY  
GOLDEN BEACH, FL 33160 USA

HUNTER GARY  
SHANA GARY  
SHANA GARY TRS  
SHANA GARY RESIDENCE TR  
RANIKA COHEN TRS  
301 CENTER ISLAND DR  
GOLDEN BEACH, FL 33160

ALLEGRO ACQUISITIONS CORP  
343 CENTER ISLAND DR  
GOLDEN BEACH, FL 33160-2201 USA

VIVIAN NIEMBERG  
330 S PARKWAY  
GOLDEN BEACH, FL 33160 USA

ALEXANDRE LUIZ M DO AMARAL  
309 CENTER ISLAND DR  
GOLDEN BEACH, FL 33160

TRIPLE THREE GB LLC  
8 THE GREEN STE B  
DOVER, DE 19901 USA

LCM18 SOLUTIONS LLC  
326 S PARKWAY  
GOLDEN BEACH, FL 33160 USA

DALE NEWBERG  
RICHARD NEWBERG  
333 GOLDEN BEACH DR  
Golden Beach, FL 33160-2225

BEACH DREAM PROPERTIES LLC  
325 CENTER ISLAND DR  
GOLDEN BEACH, FL 33160 USA

CHRISTIAN MASCIATTI TRS  
THE MASCIATTI FAMILY REVOCABLE TR  
OKSANA MASCIATTI TRS  
322 S PARKWAY  
GOLDEN BEACH, FL 33160 USA

LB GOLDEN BEACH LLC  
2711 CENTERVILLE RD 400  
WILMINGTON, DE 19808 USA

TRINITY GLOBAL INVESTMENT CORP  
19380 COLLINS AVE 1120  
SUNNY ISLES BEACH, FL 33160 USA

RICHARD GINSBURG  
LAINIE GINSBURG  
318 SOUTH PARKWAY  
GOLDEN BEACH, FL 33160 USA

ROBERTO ZINN  
HILDA ZINN  
351 GOLDEN BEACH DR  
GOLDEN BEACH, FL 33160-2225

ALLEGRETTO HOLDINGS LLC  
5150 TAMiami TRAIL NORTH 302  
NAPLES, FL 34103 USA

IONATHAN BRIEF  
PO BOX 800008  
AVENTURA, FL 33280 USA

BERNARD MOTOLA  
MIRIAM D MOTOLA  
355 GOLDEN BEACH DR  
GOLDEN BEACH, FL 33160 USA

ALLEGRO ACQUISITIONS CORPORATION  
349 CENTER ISLAND DR  
GOLDEN BEACH, FL 33160 USA

FRANCO & MARIA BARDUCCI  
363 CENTER ISLAND  
GOLDEN BEACH, FL 33160-2201

ELIAS SACAL COHEN  
369 CENTER ISLAND DR  
GOLDEN BEACH, FL 33160

LEVY CASA 18 LLC  
2626 CASTILLA ISLE  
FORT LAUDERDALE, FL 33301

PHISTER COMPANY INC  
999 PONCE DE LEON BLVD STE 1020  
CORAL GABLES, FL 33134-3063

MOSHE MANOAH , NAVA MANOAH  
364 GOLDEN BEACH DR  
GOLDEN BEACH, FL 33160

DALE NEWBERG , RICHARD NEWBERG  
333 GOLDEN BEACH DR  
AVENTURA, FL 33160

368 GB LLC  
18201 COLLINS AVE 4404  
SUNNY ISLES BEACH, FL 33160

MINDY HARDOON  
271 GOLDEN BEACH DR  
GOLDEN BEACH, FL 33160-2224

CENTER ISLAND LLC  
393 CENTER ISLAND DR  
GOLDEN BEACH, FL 33160

DAVID BITTAN OBADIA  
BECKY SHEERO DE BITTAN  
259 GOLDEN BEACH DR  
GOLDEN BEACH, FL 33160

EDWARD ELENSON TRS  
EDWARD AND DEBRA ELENSON JOINT  
REVOCABLE TRUST  
DEBRA ELENSON TRS  
276 S PARKWAY  
GOLDEN BEACH, FL 33160

DAVID RABBANI TRS  
JRD REVOCABLE TRUST  
3694 NE 195 LN  
AVENTURA, FL 33180

DAVID HARRAR &W SUSAN  
300 S PARKWAY  
GOLDEN BEACH, FL 33160-2220

JASON RUBIN  
268 S PARKWAY  
GOLDEN BEACH, FL 33160

JODI MACKEN TRS  
JODI MACKEN REV TRUST AGMT  
449 GOLDEN BEACH DR  
GOLDEN BEACH, FL 33160

ARIEL BROMBERG  
ESTHER BROMBERG  
285 GOLDEN BEACH DR  
GOLDEN BEACH, FL 33160

IRWIN FRIEDMAN  
NORA FRIEDMAN  
299 GOLDEN BEACH DR  
GOLDEN BEACH, FL 33160

OMRI PAPO  
MICHELLE DENISSE PAPO  
277 GOLDEN BEACH DR  
GOLDEN BEACH, FL 33160

## **TOWN OF GOLDEN BEACH BUILDING REGULATORY ADVISORY BOARD APPLICATION and REVIEW PROCEDURE**

Thank you for applying to the Building Advisory Board for approval of your project. Below is a brief guideline on how the application review process works and what can be expected. The attached application form contains additional guidelines and information pertinent to your submittal. Please follow all directions contained within the application prior to submitting your package to our office:

### **Submittal**

Submit your completed application package to the Town by the required deadlines which are available on the Town's website at [www.goldenbeach.us](http://www.goldenbeach.us).

Upon receipt of your application and within the first week after you submit, the Town's zoning and landscape reviewers will perform their first review. Following their review you will receive reports for an approval or comments requesting additional information and/or needed corrections to your plans and/or your application.

### **Reports**

Two basic types of reports can be issued under a zoning and landscape review; the first report that may be issued will list code deficiencies, if any, as the zoning and landscape reviewer sees them in relationship to the Town's current Zoning Code, the report for zoning will be entitled "Planning and Zoning Comments". This process will continue each time updated information is received and until all issues have been addressed.

After all deficiencies have been addressed and the zoning and Landscape reviewers do not find any deficiencies then a second report will be issued entitled "Town of Golden Beach – Community Development Memorandum" this report is the clearance memorandum to allow the item to move forward and be placed on the Agenda for possible approval by the Board. You will receive two separate reports one from zoning and one from landscaping.

### **Deadlines - Agenda Placement**

A positive review prior to the meeting is required in order for your application to be placed on the Agenda. As with all applications sufficient time is needed by the Town's reviewers and staff for processing prior to the item moving forward for placement on the Agenda.

Your application will require a satisfactory review within the seven days prior to the scheduled meeting in order to be placed on the Agenda. If a satisfactory recommendation is not received within the time period specified, then the application will be tabled to the next Building Advisory Board meeting in the next month, pending approval of the application. Building Advisory Board meetings are scheduled for the Second Tuesday of each month pending quorum. All notifications will be sent via email on the progress of your application and the Board's ability to meet.

### **Special Note**

Simple applications might not receive comment sheets and will move directly to a "Town of Golden Beach – Community Development Memorandum" mentioned in the previous paragraph allowing the item to be placed on the Agenda to be heard by the Board.

### **Notice**

If submittals have been inactive for 90 days or more, they will automatically be placed on inactive status and new submittals will be required.

**TOWN OF GOLDEN BEACH**  
**APPLICATION FOR**  
**BUILDING REGULATION ADVISORY BOARD MEETING/HEARING**

Property Location: 334 South Parkway

Meeting Date: \_\_\_\_\_

Variance Hearing Dates: Advisory Board \_\_\_\_\_

Town Council \_\_\_\_\_

APPROVAL FROM THE BUILDING REGULATION ADVISORY BOARD IS REQUIRED FOR:

- A. Plans for new residence
- B. Plans for addition to or exterior alterations of an existing structure.
- C. Additional structures on premises of existing residences
- D. Review of landscape plan for new construction, renovation or addition to existing residence.
- E. Recommendation to Town Council for the approval or denial of variances and special exceptions.
- F. Recommendation to Town Council for interpretation regarding apparent conflicts or inconsistencies in the zoning provisions in Chapters 46 & 66

**APPLICATION HEARING PROCESS**

**Building Approval:**

Applicant shall submit 2 completed packages for review and approval. Each package shall consist of an application, survey, warranty deed and drawings as required. The plans shall be sized as follows: 2 sets 11" x 17" and 1 USB/ flash drive containing everything submitted hard copy (including application). This is separate from the landscaping plan submittal.

**Landscape Approval - Separate Submittal from the Building Submittal** Applicant shall submit 2 complete packages for review and approval. Each package shall consist of an application, existing landscape and tree disposition survey, proposed site plan and landscape plans as required. The plans shall be sized as follows: 2 sets 11 x 17, and 1 USB/ flash drive containing everything submitted hard copy (including application).

**Zoning Variance Approval:**

Submittal for a zoning variance: submit 2 complete packages for approval: each package shall consist of an application, survey, warranty deed and drawings are required. The plans shall be sized as follows: 2 sets 11" x 17" and 1 USB/ flash drive containing everything submitted hard copy (including application).

**Final Submittal Requirement:**

Eight days prior to the meeting and after all approvals have been obtained. The applicant shall submit for the Board's approval an additional 4 completed application packages, for both Building and Landscaping, which shall consist of a copy of the completed application, approved plans 4 sets 11 x 17 of the approved building and landscape applications , a survey, warranty deed, any other required documentation by the reviewer, and USB/ flash drive containing everything submitted hard copy (including application).

The Building Regulation Advisory Board (B.R.A.B.) meets at 6:00 P. M. on the second Tuesday of every month. Applications must be submitted 40 days, prior to scheduled.

Any variances required must be heard and approved by the Town Council after the Building Regulation Advisory Board has considered the item. The Variance will be heard by the Town Council, in the following month, (on the third Tuesday), after the Building Regulation Advisory Board's action, at the Town Council's regularly scheduled meeting.

**\*\*NOTICE\*\***

**INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. PLEASE MAKE SURE THAT YOU, THE APPLICANT, HAVE CHECKED AND MARKED ALL THE REQUIREMENTS OF THE APPLICATION. IF SUBMITTALS HAVE BEEN INACTIVE FOR 90 DAYS OR MORE, THEY WILL AUTOMATICALLY PLACED ON INACTIVE STATUS AND NEW SUBMITTALS WILL BE REQUIRED.**

**TOWN OF GOLDEN BEACH APPLICATION FOR  
BUILDING REGULATION ADVISORY BOARD HEARING**

1. The application deadline date will be adhered to. No application will be accepted after the date and time specified.
2. The Building Department will review the application package. If it is determined that the application is incomplete, the item will not be accepted and returned to the applicant for correction.
3. During the Forty Day (40) period from the deadline date to the hearing date the following events shall take place in proper order:
  - a) During the first week upon submittal, the zoning and landscape reviewers, or the Town's designated agent will review the application and complete a comment sheet specifying all deficiencies for correction which will be emailed to you the applicant/agent of record.
  - b) Corrections for any deficiencies must be submitted within 15 days of the scheduled meeting/hearing date. Corrections not approved or received for a scheduled Agenda item will be deferred to the next B.R.A.B. meeting/hearing date.
  - c) All applicants shall be made aware that incomplete applications or deficiencies not corrected in time as per these regulations, will not be included on the agenda, and are hereby rejected, and will be returned to the applicant.
  - d) Upon receipt of a Staff Recommendation report approving the project the balance of the applications with plans and documents, need to be submitted to the Building Department for distribution to the Board Members and Staff. The Building Dept. shall retain all originals for the records. At that time the applicant's request will be placed on the Agenda for approval by the B.R.A.B. Board Members.
4. After approval of the item by the Board, You will also need to retain a copy of the BRAB approved application package with the minutes for submission at the time of the permit application. Make sure to request a copy of the minutes on the 3rd Tuesday of the following month of your approval.
5. If a Variance: A Notice of Hearing for variance will be mailed no later than 10 days before the date of meeting, as per Town Code.
6. Variance have a two step process: The Building Advisory Board is a recommendation Board to the Town Council – The Town Council is the ultimate authority on Granting or Denial of Variance requests. The Town council will hear your requests for the Variance at the next hearing, it is at that Hearing that the Town Council will either approve or deny your requests. Someone needs to be present at the meeting. The Town Council meetings are held every 3rd Tuesday of every month.
7. After approval of the item by the Board, The Resolutions approving your variance will need to be prepared and you will be notified when they are ready to be picked up and get recorded with the Miami Dade County Clerk's recording office. You will need to forward us a Certified copy of recorded Resolutions and retain a copy for your records.
8. Required for permitting: A copy of the Certified copy of recorded Resolutions and BRAB approved application package along with the minutes.

**TOWN OF GOLDEN BEACH  
BUILDING REGULATION ADVISORY BOARD  
SCHEDULE OF FEES**

Appropriate fee shall be paid at time of application you will be charged for each item included in the plans. These fees are not refundable.

<u>Type of request</u>	<u>Fee</u>	<u>Qty</u>
1. New single-family residence- per submittal and resubmittal	\$700.00	_____
2. Addition/Remodel of existing structure- per submittal and resubmittal	\$225.00	_____
3. Accessory Building (Cabana, Pergola, or Gazebo) - per submittal and resubmittal	\$150.00	_____
4. Pools, Spas and Water Features - per submittal and resubmittal	\$100.00	_____
5. Fencing, site walls, driveways, pool decks - for each item per submittal and resubmittal	\$150.00	_____
6. Seawalls and docks - for each item, per submittal and resubmittal	\$200.00	_____
7. Boat Lift- per submittal and resubmittal	\$100.00	_____
8. Landscape plan review is required for new construction, addition and remodeling projects (submit plans with site plan elevations separate from the building plan approval package).	\$300.00	_____
9. Resubmissions, based on original fee paid	75.0%	_____
10. Zoning Variances and special exceptions, per variance or exception:		
a. First variance/ exception. ....	\$750.00	_____
b. Per additional variance/exception, for the same initial variance (example: request for a dock, affecting two different codes)	\$200.00	_____
c. When a variance is granted, the property owner, at his expense, shall have the resolution for the variance recorded in the public records of Miami-Dade county, and two (2) certified copies of the recorded resolution shall be submitted to the Town for inclusion into the property records		
d. If the Town Council grants a variance, a building permit must be secured within two years of the approval date or the variance will become null and void		
11. Request to the Board for verification of any section of the Zoning Code,		
For each Section to be verified	\$100.00	_____

**TOWN OF GOLDEN BEACH  
BUILDING REGULATION ADVISORY BOARD  
SCHEDULE OF FEES**

12. Application for the legalization of construction built without the approval of the B.R.A.B., when the Board should have approved such construction, will be accessed a fee equal to four (4) times the regular fee applicable to the matter.

13. Special Requests for a meeting, variance, or waiver of plat hearing:

a. For matters that have been heard, but the process had not been completed, i.e., tabled subjects, or unfinished subjects to be continued, the applicant must notify the Building & Zoning Department in writing if they would like the item continued

If the notification is received by the Department before the deadline for the next B.R.A.B. meeting, there will be no charge for the continuance. If the notification is received after the deadline, and the applicant still wants the matter included in the agenda for the next meeting, there will be a special fee of

\$200.00

b. If the agenda has already been prepared and the applicant wants the matter to be heard, the request must received in writing to be added to the agenda at the beginning of the meeting with the approval of the Building Official or Building & Zoning Director. There will be a special fee of

\$200.00

c. When a special meeting or hearing of the B.R.A.B. is requested by an applicant, for either a new matter or continuance of a subject already heard, there will be a special fee for a 2 hour time period of

\$500.00

If the time limit is exceeded, an additional fee of  $\frac{1}{2}$  of the fee will be accessed for the seconded time period

\$250.00

**TOWN OF GOLDEN BEACH**  
**APPLICATION FOR**  
**BUILDING REGULATION ADVISORY BOARD HEARING**

Applicant check here	Complete application, sign, and notarize.	Bidg Dept Use
<input type="checkbox"/>	If a zoning variance is applied for, the petition for variance, pages 9, 10 and 11 shall be submitted with the application and shall include: a. Property Legal Description b. Property Folio number c. Street address d. Owners of record e. Owner and agent names and signatures properly notarized.	
<input type="checkbox"/>	Initial submittal as directed on page one; surveys, building plans, Warranty Deeds, and applications, After Zoning approval is issued completed sets are to be submitted 8 days prior to the meeting date as follows: Eight (8) copies 11" x 17". The same amount of copies are required for a variance. Each completed package shall consist of 1 each of an application, survey, Warranty Deed and building plans. Submit 1 USB with all documents included	
<input type="checkbox"/>	Conceptual construction drawings prepared and signed by a licensed design professional that shall include, at a minimum, the following: a. Site plan at a scale not less than 1/8" = 1'-0" (Include grade elevations) b. Proposed Floor Plan views, at a scale not less than 1/4"=1'-0" c. Cross and longitudinal sections preferably through vaulted areas, if any. d. Typical exterior wall cross section. e. Full elevations showing flat roof and roof ridge height and any other higher projections. f. Sample board of construction materials to be used. g. Existing and proposed ground floor elevations (NGVD). h. Grading & Drainage Calculations i. Zone 3 Properties: Affidavit of Seawall Conformity	
<input type="checkbox"/>	Landscaping Plan, separate from building plan package, prepared and signed by a licensed landscape design professional: The same amount of copies as outlined in the Building plan submittal. Each completed package shall consist of 1 each of an application, existing landscape survey, Warranty Deed, landscape plans with building site plans. Mark USB accordingly (separate from building)	
<input type="checkbox"/>	First Floor and Second Floor area calculations marking the geometrical areas used to calculate the overall floor areas.	
<input type="checkbox"/>	Colored rendering showing new construction or proposed addition. Marked with the applicable address.	
<input type="checkbox"/>	Estimated cost of proposed work. For additions/remodels fair market value of property showing land value and structure value separately.	
<input type="checkbox"/>	Site plan detailing construction site personnel parking.	

TOWN OF GOLDEN BEACH  
APPLICATION FOR  
BUILDING REGULATION ADVISORY BOARD HEARING

Application fee: \_\_\_\_\_

Request hearing in reference to:

New residence/addition: \_\_\_\_\_ Variance(s): \_\_\_\_\_  
Exterior alterations: \_\_\_\_\_ Other Structure: \_\_\_\_\_  
Date application filed: \_\_\_\_\_ For hearing date: \_\_\_\_\_

1. **Project information:**

**Project description:** Installation of a new concrete seawall cap overpour to a top elevation of 4.425' NAVD and supported by batter piles, and replace the existing previously permitted concrete dock in substantially in the same footprint as the existing.  
**Legal Description:** GOLDEN BEACH SEC E PB 8-122 LOT 37 BLK G LOT SIZE 59.860 X 175 OR 19151-1035 05 2000 1 COC 25519-3450 03 2007 1

Folio #: 19-1235-005-0640

Address of Property: 334 South Parkway, Golden Beach, Florida 33160

2. Is a variance(s) required: Yes  No  How Many? 2+  
(If yes, please submit variance application form for each request).

Owner's Name: The JF Descendants Trust c/o Jill Aronsky Fischer, Trustee Phone 914-960-6964 Fax \_\_\_\_\_

Owner's address: 334 South Parkway City/State Golden Beach, Florida Zip 33160

Email address: jfischer23@gmail.com

Agent: Kirk Lofgren of Ocean Consulting, LLC Phone 305-921-9344 Fax \_\_\_\_\_

Agent's address: 359 Alcazar Ave, Suite 200 City/State Coral Gables, Florida Zip 33134

Email address: kirk@oceanconsultingfl.com

Architect: \_\_\_\_\_ Phone \_\_\_\_\_ Fax \_\_\_\_\_

Email address: \_\_\_\_\_

Contractor: \_\_\_\_\_ Phone \_\_\_\_\_ Fax \_\_\_\_\_

3. **Describe project and/ or reason for hearing request:** The Variance is being requested for the portion of the project that proposes to replace the existing, previously permitted concrete dock in substantially the same footprint as the existing. A Variance is required for the encroachment of the dock into the Golden Beach Triangle (§46-87(b)), for the 10' min. side setbacks of the dock (§46-87(a)) and to moor a vessel closer than 10', Town Code §46-55.

4. The following information is submitted for assisting in review:

Building Plans:

Conceptual:

Preliminary:

Final:

Other: \_\_\_\_\_

5. Estimated cost of work: \$ 100,000.00

Estimated market value of: Land \$ \_\_\_\_\_

Building \$ \_\_\_\_\_

(Note: If estimated cost of work is 40% of the market value of the building an independent appraisal is required).

TOWN OF GOLDEN BEACH  
APPLICATION FOR  
BUILDING REGULATION ADVISORY BOARD HEARING

6. Is hearing being requested as a result of a Notice of Violation? No

7. Are there any structures on the property that will be demolished? Yes

8. Does legal description conform to plat? Yes

9. Owner Certification: I hereby certify that I am the owner of record (\*) of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of owner(s): Jill Fisch

Acknowledged before me this 21<sup>st</sup> day of October, 2025

Type of identification:

NY Drivers license

Notary Public  
Notary Public State of Florida  
Daniela Rovelo-Padgett  
My Commission HH 654741  
Expires 5/5/2029

Owner/Power of Attorney Affidavit:



I, being duly sworn, depose and say I am the owner (\*) of the property described in this application and that I am aware of the nature and request for: seawall improvements and replacing the existing previously permitted concrete dock in substantially the same footprint as the existing. relative to my property and I am hereby authorizing Kirk Lofgren of Ocean Consulting, LLC to be my legal representative before the Building Regulation Advisory Board and Town Council.



Jill Fisch  
Signature of owner(s)

Acknowledged before me this 21<sup>st</sup> day of October, 2025

Type of identification:

NY Drivers license

Notary Public  
Notary Public State of Florida  
Daniela Rovelo-Padgett  
My Commission HH 654741  
Expires 5/5/2029

(\*) If owner of record is a corporation then the president with corporate seal, the president and the secretary (without corporate seal), or duly authorized agent for the corporation may execute the application, proof that the corporation is a corporation in good standing.



**TOWN OF GOLDEN BEACH  
BUILDING REGULATION ADVISORY BOARD  
APPLICATION FOR  
PETITION FOR VARIANCE**

Date: \_\_\_\_\_

Fee: \_\_\_\_\_

I, The JF Descendants Trust c/o Jill Aronsky Fischer, Trustee hereby petition the Town of Golden Beach for a variance from the terms of the Town of Golden Beach Code of Ordinances affecting property located at: 334 South Parkway, Golden Beach, Florida 33160 Folio No. 19-1235-005-0640

As specified in the attached "Application for Building Regulation Advisory Board" and related supporting material.

1. The Variance requested is for relief from the provisions of (list section number(s) of the Town of Golden Beach Code of Ordinances): A Variance required for the encroachment of the dock into the Golden Beach Triangle (\$46-87(b)), for the 10' min. side setbacks of the dock (\$46-87(a)) and to moor a vessel closer than 10' (\$46-55).

\_\_\_\_\_

\_\_\_\_\_

2. In order to recommend the granting of the variance, it must meet all the following criteria (please provide a response to each item):

- a. The Variance is in fact a Variance from a zoning regulation as set forth within the Zoning Chapter of the Town Code. Correct. The existing dock is not in compliance from the perspective of the new Zoning code. The dock was historically permitted in the existing footprint.

\_\_\_\_\_

\_\_\_\_\_

- b. Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district. Correct. The existing dock was previously permitted by the Town of Golden Beach and Miami-Dade County in 2010 and was built as permitted. This is also a curved shoreline, and therefore encroachment is not possible to avoid.

\_\_\_\_\_

\_\_\_\_\_

- c. The special conditions and circumstances do not result from the actions of the applicant. Correct. The dock was built by the previous property owners, and was built with permit approvals. The current owners bought the property with the existing dock conditions, and is now being required to elevate the seawall cap to meet the current code requirements. The dock must therefore be replaced.

\_\_\_\_\_

\_\_\_\_\_

- d. Granting the Variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district. Correct. The dock is existing and has been lawfully in use by the property owner for several years. The owner now intends to raise the seawall, as required by the Town, and make improvements to the existing dock. The applicant should not be required to reduce the size of the dock in order to complete these improvements, as the current dock configuration is both existing and previously permitted.

\_\_\_\_\_

\_\_\_\_\_

**TOWN OF GOLDEN BEACH  
BUILDING REGULATION ADVISORY BOARD  
PETITION FOR VARIANCE**

3. Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant. Correct. Literal interpretations of the code would deprive the owner from enjoying the existing waterfront conditions of their property. Have not been required by the Town to raise the seawall, the existing dock conditions would remain unchanged.

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4. The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure. Correct. The project is proposing to replace the dock in substantially the same footprint as the existing, previously permitted one.

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5. The granting of the Variance will be in harmony with the general intent and purpose of the Town Code and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare. Yes. Granting this Variance would allow the property owner to enjoy the existing dock conditions with allow them to structurally improve the integrity of their seawall and dock.

---

Does the Variance being requested comply with all the above listed criteria?  
✓ Yes  No

6. Our code states that submission of a written statement is invited and encouraged. Has the applicant (petitioner) explained the variance to the owners of the nearest adjacent residences and sought their approval in writing? Yes  No.   
Please attach any written letters of no objection to this petition.

7. Is this request related to new construction?  Yes  No

8. Is construction in progress? No

9. Is this request as a result of a code violation? No

10. Did this condition exist at the time property was acquired?  Yes  No

11. Is this request sought as a remedy to a case to be heard, or action taken by the Special Magistrate? No

12. Do you have a building permit?  Yes  No

Building Permit No. \_\_\_\_\_ Date issued: \_\_\_\_\_

TOWN OF GOLDEN BEACH  
BUILDING REGULATION ADVISORY BOARD  
PETITION FOR VARIANCE  
AFFIDAVIT BY OWNER

Affidavit by Owner for Variance Request(s):

Folio No.: 19-1235-005-0640 Address: 334 S Parkway Golden Beach, FL 33160

Legal Description: GOLDEN BEACH SEC E PB 8-122 LOT 37 BLK G LOT SIZE 59.860  
X 175 OR 19151-1035 05 2000 1 COC 25519-3450 03 2007 1

Being duly sworn, deposes and says: That He/She is the Owner named in the application for Building Advisory Board for the hearing date of \_\_\_\_\_ relating to Variance requests for construction or other work to be performed on, or in connection with, the premises located as indicated in the application.

I acknowledge notification by The Town of Golden Beach, that granting of a variance(s) by The Town Council, is conditioned on the following:

1. That a Building Permit for the contemplated work pursuant to the Variance must be issued within two (2) years from the date of the approval of the Resolution granting such variance request.
2. If a Building Permit is not issued within the two (2) year time limit set then the Resolution granting the Variance approval will be null and void.
3. That as the applicant, and at my own expense, I shall record a certified copy of the Resolution in the public records of Miami-Dade County and return two (2) certified copies to the Golden Beach Town Hall for inclusion into my property records.

*Julie Fischer*  
Signature of Owner or Legal Representative

Sworn to and subscribed before me this 21<sup>st</sup> day of, October, 2025



*Daniela Rovelo-Padgett*  
Notary Public State of Florida at Large

Personally know to me

Produced Identification

*NY Drivers License*

## **GOLDEN BEACH LANDSCAPE LEGEND**

### Chapter 52 - Landscaping

Zoning District: \_\_\_\_\_ Net Lot Area: \_\_\_\_\_ acres \_\_\_\_\_ square feet

#### **OPEN SPACE**

A. Square feet of paved area, as indicated on the site plan:

B. Square feet of pervious area, as indicated on site plan:

#### **TREES**

A. The number of trees required per net lot acre:

= 1 tree per 2,500 SF of lot area minus number of existing trees

Less the existing number of trees meeting minimum requirements

**Required**      **Provided**

(minus) \_\_\_\_\_

B. Min. 2 canopy trees or grouping of palms meeting code requirement in front setback

C. % palm trees allowed: No. trees required x 40%:

D. % native trees required: No. trees provided x 50% =

E. % drought tolerant trees required: No. trees provided x 50% =

F. Street trees: 1 per 25 linear feet of frontage excluding driveways  
\_\_\_\_\_ linear feet along street / 25' =

G. Total number of trees required / provided:

#### **SHRUBS**

A: The total number of trees required x 20 = the number of shrubs required

B. The number of shrubs required x 30% = the number of native shrubs required

Irrigation Plan: Required by Chapter 52. Automatic Irrigation provided \_\_\_\_\_

# **TOWN OF GOLDEN BEACH**

## **DRAINAGE COMPUTATION WORKSHEET**

Last updated January 24<sup>th</sup>, 2017

In order to help professionals designing residential developments (single family units) the Town has developed a worksheet to aid applicants in determining the volume of runoff generated during a 10-year / one-day storm. This has been the adopted Level of Service (LOS) standard in the Town's Comprehensive Plan since December 1988 and is also the drainage standard specified in the Miami-Dade County Public Works Manual, Section D4 - Water Control. The calculations follow the methodology recommended by the SFWMD in their publication "Management and Storage of Surface Waters, Permit Information Manual, Volume 4" and in their publication "Technical Publication EMA #390 - Frequency Analysis of Daily Rainfall Maxima for Central and South Florida" dated January 2001. Applicants may include the calculations on this worksheet with their permit application. A registered professional engineer or a registered architect must perform these calculations.

Once the volume of runoff generated during a 10-year / one-day storm within the property or a sub-basin within the property is determined, the applicant must include calculations showing this volume will be contained within the property. Retention of this volume can be provided within shallow retention swales, injection wells, collection systems for reuse (example - cistern for irrigation), underground drains or other methods approved by the Town.

The applicant must also provide plans showing existing and proposed land elevations throughout the property demonstrating the volume of runoff generated during the design storm (10-year / one-day) will be contained within the on-site retention system. The existing and proposed land elevations must also show no overflow from the property will occur to adjacent properties or Right-of-Ways during a 10-year/one-day storm.

**Definitions are located below the worksheet.**

## Step 1:

Determine A       $A =$  \_\_\_\_\_ square feet

## Step 2:

Determine AP AP= \_\_\_\_\_ square feet

AI= \_\_\_\_\_ square feet

**Note= P= Pervious/ I = Impervious**

### **Step 3:**

Determine the average NGVD land elevation of pervious areas within property or sub-basin within the property.

Average Elevation of Pervious Areas= \_\_\_\_\_ feet NGVD

**Step 4:**

Determine the distance between the average high ground water elevation and the average elevation of the previous areas. For design purposes, the average high ground water elevation for most of Golden Beach is 2 feet NGVD (Additionally, please check with your geotechnical engineer and/or geotechnical report.)

Distance= \_\_\_\_\_ feet

**Step 5:**

Determine an  $S_1$  value from the table below:

Distance between ground water table and average elevation of pervious areas,	$S_1$
1 foot	0.45 inches
2 feet	1.88 inches
3 feet	4.95 inches
4 feet	8.18 inches
>4 feet	8.18 inches

If necessary, compute a value of  $S_1$  by interpolation.

$S_1$ = \_\_\_\_\_ inches

**Step 6:**

Determine S as:

$$S = \frac{AP}{A} * S_1$$

S is computed in inches    S= \_\_\_\_\_ inches

**Step 7:**

Determine runoff depth (R) as:

$$R = \frac{(P-0.2*S)^2}{(P+0.8*S)}$$

Where P= 7.00 inches of rainfall produced during a 10- year/ one-day storm. Then:

$$R = \frac{(7.00-0.2*S)^2}{(7.00+0.8*S)}$$

$$(7.00+0.8*S)$$

R is computed in inches    R= \_\_\_\_\_ inches

**Step 8:**

Determine runoff depth (R) as:

$$V=A \frac{R}{12}$$

V is computed in cubic feet. V is the volume of runoff generated during a 10 year- year/ one day storm within the property or sub-basin of the property.

$$V= _____ \text{ cubic feet}$$

**Step 9:**

Compute "retention volume provided" (VP) as the retention volume capacity, in cubic feet, of swales, retention areas, and drains within the property or sub-basin within the property.

- Attach calculation showing how the volume was calculated.
- Calculations must be consistent with existing and proposed elevations shown on design plans.

$$VP= _____ \text{ cubic feet}$$

**Step 10:**

Compute values of retention volume provided (VP in Step 9) with retention volumes needed (V in Step 8). Retention volume provided (VP) must be larger than retention volume needed (V). (VP= \_\_\_\_\_ cubic feet) > (V= \_\_\_\_\_ cubic feet)

**NOTE: These volumes calculations are needed to satisfy the Town of Golden Beach Comprehensive Plan Level of Service (LOS) and Code requirements.**

DEFINITIONS			
P:	Rainfall depth in inches.	A:	Total area of property in square feet.
S:	Soil storage capacity in inches.	AP:	Total pervious areas within property in square feet.
R:	Runoff depth in inches.	V:	Volume of runoff in cubic feet.
AI:	Total area of roof, pavement patios, pool decks, walkways and any other hardscape areas within the property in square feet (ie., total impervious area).		

Note: \* means multiply.

TOWN OF GOLDEN BEACH  
ACKNOWLEDGEMENT and AFFIDAVIT BY OWNER  
Chapter 46-85 Height of Seawalls and Docks and Extension of Deck of Dock.  
of the Code of Ordinances  
Article IV Seawalls and Docks.

Affidavit by Owner: The JF Descendants Trust c/o Jill Aronsky Fischer, Trustee

Folio No.: 19-1235-005-0640 Address: 334 S Parkway Golden Beach, FL 33160

Legal Description: GOLDEN BEACH SEC E PB 8-122 LOT 37 BLK G LOT SIZE 59.860  
X 175 OR 19151-1035 05 2000 1 COC 25519-3450 03 2007 1

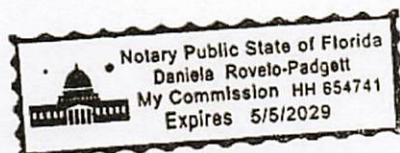
Being duly sworn, deposes and says: That He/She is the Owner named in the permit application for construction or other related work to be performed on, or in connection with, the premises, as indicated above, and is in agreement that granting of a permit for construction on said premises, agrees to repair, or replace said seawall in question;

- a) All new and replacement seawalls shall be constructed at an elevation of 4.425 feet above the North American Vertical Datum of 1988 (NAVD-88). Except as provided in section (b) below, all new and replacement docks shall be constructed at a minimum height of 3.425 NAVD-88, and a maximum not to exceed 4.425 NAVD-88. No finished material installed or applied to the seawalls or docks shall exceed three inches in thickness. No cover shall be permitted to be erected in connection with any dock.
  
- b) Where any legal non-conforming seawall exists, a new or replacement dock may be constructed at an elevation which is not more than one foot below the top of the cap of the existing seawall.

Jill Fischer

Signature of Owner or Legal Representative  
Print Name: Jill Fischer

Sworn to and subscribed before me this 21<sup>st</sup> day of October 2025



Daniela Rovelo-Padgett  
Notary Public State of Florida at Large

Personally know to me

Produced Identification  
NY Drivers License

**ACKNOWLEDGMENT OF RECEIPT**  
**FOR ZONE 1 PROPERTIES ONLY (OCEAN FRONT)**

Date: \_\_\_\_\_

Ref: Address of the Property: \_\_\_\_\_

I acknowledge receipt of the following documents from the Town of Golden Beach, Building and Zoning Department for properties situated in Zone One.

1. One-Hundred- Year Storm Elevation Requirements for Habitable Structures Located Seaward of a Coastal Construction Control Line
2. Flood Resistant Provisions in the 7<sup>th</sup> Edition Florida Building Code (2020)
3. Flood Damage- Resistant Materials Requirements
4. Non- Conversion Agreement for Enclosures below the base flood elevation or Design Flood Elevation –fully execute and submit to the building department
5. New Construction/ Addition/ Remodel Permit Documentation Log

---

Name and Title

---

Signature



# TOWN OF GOLDEN BEACH

100 Ocean Blvd., Golden Beach, FL 33160  
Phone: (305) 932-0744 Fax: (305) 933-3825  
[www.goldenbeach.us](http://www.goldenbeach.us)

## NON-CONVERSION AGREEMENT FOR ENCLOSURES BELOW THE BASE FLOOD ELEVATION OR DESIGN FLOOD ELEVATION (ZONE 1- OCEAN FRONT)

This DECLARATION made this \_\_\_\_\_ day of, 20\_\_\_\_\_, by \_\_\_\_\_ ("Owner")  
having an address at \_\_\_\_\_ in the Town of Golden Beach, Florida  
designated in the Tax Records as Folio # \_\_\_\_\_ as recorded in the public records of Miami  
Dade County in Book No. \_\_\_\_\_, Page No. \_\_\_\_\_.

### WITNESSETH:

WHEREAS, the Owner has applied for a permit to construct, improve, or repair the property owned by \_\_\_\_\_ (name) at \_\_\_\_\_ (address) in  
the Town of Golden Beach and:

- 1) It is identified by building Permit No. \_\_\_\_\_, dated \_\_\_\_\_;
- 2) It is located on a flood hazard area identified on Flood Insurance Rate Map Panel # \_\_\_\_\_, dated \_\_\_\_\_;
- 3) It is located in flood zone(s):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Base Flood Elevation \_\_\_\_\_  
Base Flood Elevation \_\_\_\_\_  
Base Flood Elevation \_\_\_\_\_

Seaward of LiMWA or community defined Coastal A Zone limit:  Yes  No

Seaward of Coastal Construction Control Line:  Yes  No

Florida Department of Environmental Protection 100-Year Storm Elevation \_\_\_\_\_ (NGVD).

- 4) It is designed to conform to the requirements of the Town of Golden Beach Floodplain Management Ordinance referred herein as "Land Development Regulations," of Golden Beach and the most current edition of the Florida Building Code - Residential; and
- 5) If unauthorized improvements, modifications, alterations, conversions or repairs are made to it in the future, the structure could be made noncompliant by such unauthorized actions, including such actions by future owners.

WHEREAS, the Owner agrees to record this DECLARATION OF LAND RESTRICTION (NON-CONVERSION AGREEMENT) in the public records of Miami Dade County and certifies, accepts and declares that the following covenants, conditions and restrictions are placed on the affected property as a condition of granting the Permit, and affects rights and obligations of the Owner and any future owners, and shall be binding on the Owner, his heirs, personal representatives, successors and assigns.

THE PERMITTED STRUCTURE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE FLORIDA BUILDING CODE – RESIDENTIAL AND/OR LOCAL FLOODPLAIN MANAGEMENT REGULATIONS, AS APPLICABLE AND SUBJECT TO THE CONDITIONS, as follows:

1. The structure or part thereof to which these conditions apply is:  
 An enclosure that is below the Base Flood Elevation or Design Flood Elevation.

A detached, allowable accessory structure that is not elevated.

2. Enclosed areas below the Base Flood Elevation or Design Flood Elevation, whichever is higher, shall be used solely for parking of vehicles, limited storage, or access to the building. All interior walls, ceilings and floors within the enclosed area shall be unfinished or constructed of flood damage-resistant materials and shall not be used for recreational or habitable purposes. Installation of minimal electrical, mechanical and plumbing equipment, devices and fixtures as allowed by the Florida Building Code.
3. The walls of the enclosed areas below the Base Flood Elevation or Design Flood Elevation of the structure or part thereof identified in #1 shall be designed to breakaway. The breakaway walls shall not be altered in any way that prevents the walls from breaking away, as designed, under flood conditions.
4. The breakaway walls of the enclosed areas below the Base Flood Elevation or Design Flood Elevation of the structure or part thereof identified in #1 shall be equipped with flood openings. The flood openings shall not be blocked, covered, manually closed or modified in any way that would alter the intended performance to allow floodwaters to automatically enter and exit.
5. Any conversion, alteration, modification, improvement, repair or changes from these conditions constitute a violation of the Permit and this agreement, and may render the structure non-compliant with minimum requirements, and result in higher NFIP flood insurance rates. The Town of Golden Beach, as the jurisdiction issuing the Permit and enforcing this agreement, may take any appropriate legal action to correct any violation.
6. A duly appointed representative of the City is authorized to enter the property for the purpose of inspecting the exterior and interior of the enclosed area to verify compliance with this Declaration. Such inspections will be conducted upon due notice to the Owner and no more frequently than once year. More frequent inspections may be conducted if the annual inspection discovers a violation of the Permit
7. Other conditions: \_\_\_\_\_

In witness whereof the undersigned set hands and seals this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Owner's Name (Printed) \_\_\_\_\_

Signature of Owner \_\_\_\_\_

Date \_\_\_\_\_

Owner's Name (Printed) \_\_\_\_\_

Signature of Owner \_\_\_\_\_

Date \_\_\_\_\_

Witness's Name (Printed) \_\_\_\_\_

Signature of Witness \_\_\_\_\_

Date \_\_\_\_\_

Sworn to and Subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_\_.  
\_\_\_\_\_

(SEAL)

Signature – State of Florida Notary Public

Personally known \_\_\_\_\_ OR, Produced Identification \_\_\_\_\_  
Type of ID Produced \_\_\_\_\_

(DOCUMENT MUST BE RECORDED AND PROOF OF RECORDING PROVIDED)



**TOWN OF GOLDEN BEACH  
100 OCEAN BOULEVARD  
Golden Beach, FL 33160**

**SUMMARY MINUTES (DRAFT)  
BUILDING REGULATION ADVISORY BOARD  
December 9, 2025, at 6pm**

**Zoom Meeting ID: 892 9110 8015 Passcode: 752288 For Dial in only call: 929-205-6099.**

- A. CALL MEETING TO ORDER:** 6:00 pm
- B. BOARD ATTENDANCE:** Alan Macken entered at 6:04 pm, Michael Klinger, Jerome Hollo, and Zvi Shiff
- C. STAFF ATTENDANCE:** Linda Epperson-Asst Town Manager, Lissett Rovira-Building & Zoning Director, Christopher Gratz-Zoning Reviewer, Elena Cheung-Asst to the Town Clerk, Amber Schwabenbauer, Administrative Office Coordinator and Monica Diaz-Permit Clerk
- D. APPROVAL OF MINUTES:** November 12, 2025
- E. VARIANCE REQUEST(S):**

1. Jill Aronsky Fischer Trs  
The Jf Descendants Trust  
334 South Parkway  
Golden Beach, FL 33160

Property Address: 334 South Parkway, Golden Beach, FL, 33160  
Folio No: 19-1235-005-0640  
Legal Description: Lots 37, BLK G, GB Sect E, PB 8-122

Christopher Gratz summarized his report and it was entered into the record.  
Kirk Lofgren, Ocean Consulting, spoke on behalf of the applicant.  
George Rais, neighbor, 338 South Parkway, Golden Beach, FL 33160 expressed opposition to this item.

Construction of a new seawall and dock.

1. Relief from: Town Code §46-55 which requires that vessels, floating docks, or other structures that are moored or installed at a dock or seawall: (2) shall maintain a setback of at least ten feet from the waterward projection of the side property lines, and (3) shall be maintained entirely within the established setback;

Request is to: allow vessel to be moored a minimum of two (2) feet from the south and 11 inches from the north property lines when a minimum of 10 feet is required;

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

Zvi Shiff made a motion to recommend approval of the variance, Seconded by Alan Macken.

On roll call: Zvi Shiff- Nay, Jerome Hollo- Nay, Michael Klinger- abstained from voting, and Alan Macken- Nay

Motion failed 4-0

2. Relief from: Town Code §46-87 (a) which requires that no part of any dock or any other structure shall be placed nearer than ten feet to a line formed by the projection of the sidelines of the lot;

Request is to: allow a new dock to be constructed 9'-6" from the south and 9'-2" from the north property lines;

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria.

Zvi Shiff made a motion to recommend approval of the variance, Seconded by Alan Macken.

On roll call: Zvi Shiff- Nay, Jerome Hollo- Nay, Michael Klinger- Nay , and Alan Macken- Nay

Motion failed 4-0

3. Relief from: Town Code §46-87(b) (aka D5 Triangle) which requires that no portion of a dock, boat lift, hydrohoist or any other method of elevation, mooring piles, boat davits, dolphin piles or any other structure, and no portion of a boat elevated above the water moored at a dock or seawall, shall protrude into the waterway, unless it is within the triangle formed by connecting the points indicated below, that form a triangle where the waterfront property line is the base of the triangle and the triangle sides extend towards the waterway at a 45 degree angle until the lines intersect on the waterway side of the lot, but never to exceed 25 feet into the waterway from each of the lot property line. Neither elevated boats nor docks shall encroach in any instance within the side setback area;

Request is to: allow a new dock to be constructed within the D5 triangle and a boat moored within in it.

Zvi Shiff made a motion to recommend approval of the variance, Seconded by Alan Macken.

On roll call: Zvi Shiff- Nay, Jerome Hollo- Nay, Michael Klinger- Nay , and Alan Macken- Nay

Motion failed 4-0

#### **F. REQUEST FOR ADDITIONS, DEFERRALS, DELETIONS & WITHDRAWALS:**

2. Philip Solomon  
Joanna Solomon  
212 South Island Drive

Golden Beach, FL 33160

Property Address: 212 South Island Drive, Golden Beach, FL, 33160  
Folio No: 19-1235-004-0700  
Legal Description: Lots 33 & 34, BLK 5 GB Sect d, PB 10-10

Installation dock replacement & seawall repair.

3. Jason Rubin  
268 South Parkway  
Golden Beach, FL 33160

Property Address: 268 South Parkway, Golden Beach, FL, 33160  
Folio No: 19-1235-004-0140  
Legal Description: Lots 18 &19, BLK G GB Sect D, PB10-10

Construction of new single-family residence and landscape design approval.

4. Alan & Helen Gay Benenson  
304 South Parkway  
Golden Beach, FL 33160

Property Address: 304 South Parkway, Golden Beach, FL. 33160  
Folio No.: 19-1235-005-0570  
Legal Description: Lots 29, Blk G, GB Section E, PB 8-122

Construction of exterior alternation and addition.

5. Jill Aronsky Fischer Trs  
The Jf Descendants Trust  
334 South Parkway  
Golden Beach, FL 33160

Property Address: 334 South Parkway, Golden Beach, FL, 33160  
Folio No: 19-1235-005-0640  
Legal Description: Lots 37, BLK G, GB Sect E, PB 8-122

Construction of a new seawall and dock.

6. Taurus Bg Holdings Llc  
Castle Hill Realty Iii Fl Llc  
538 N Parkway LLC  
4243 Dunwoody Club Dr 200  
Atlanta, Ga 30350

Property Address: 538 North Parkway, Golden Beach, FL, 33160  
Folio No: 19-1235-006-0690  
Legal Description: Lots 15 & S1/2 of Lot 14, BLK F GB Sect F, PB10-11

Construction of new single-family residence and landscape design approval.

Motion to defer items 2 – 6 by Michael Klinger, Seconded by Zvi Schiff  
All were in favor no one opposed  
Motion passed 4 – 0

## **G. OLD BUSINESS:**

7. Jacatua LLC  
1510 Daytona Rd.  
Miami Beach, FL 33141

Property Address: 564 Golden Beach Drive, Golden Beach, FL. 33160  
Folio No.: 19-1235-006-0640  
Legal Description: Lots 9, N1/2 of Blk F, GB Section F, PB 10-11

Christopher Gratz summarized his report and it was entered into the record.  
Juan Azulay, Director and Sylvia Pawlowski, M77R, 7601 NW 1<sup>st</sup> Ct. Miami, FL 33150, spoke on behalf of the applicant.

Construction of new single-family residence and landscape design approval.

A motion was made to approve by Michael Klinger based on the current plans submitted,  
Seconded by Zvi Shiff

On roll call: Zvi Shiff- Aye, Jerome Hollo- Aye, Michael Klinger- Aye , and Alan Macken- Aye

Motion passed 4-0

## **H. NEW BUSINESS:**

### **I. DISCUSSION:**

8. Possible discussion with no voting regarding grading and site elevation code of ordinance.

Town staff and the members of the Building Regulations Advisory Board reviewed proposed updates to setback and lot coverage regulations intended to better control building massing and prevent long, uninterrupted walls along side elevations. The concept discussed is based on requiring a percentage of the total lot area to be used as second-story setbacks, with specific distribution requirements depending on standard vs. undersized lots.

For standard lots (approximately 75 feet wide or greater), a 5% setback requirement applies, with 1% required to be located within a central "midpoint" zone of the lot (defined as  $\pm 15\%$  of the lot midpoint). The remaining setback area may be placed anywhere as long as it is visible from the side. Examples were reviewed showing how setbacks can be distributed either continuously across the entire building façade or concentrated into deeper recessed sections while still meeting area requirements.

For undersized lots (50' x 175'), a 6.25% total setback requirement applies, with 1.25% required within the central zone on each side. Multiple configuration examples were provided to demonstrate compliant distributions.

The group also reviewed balcony and overhang rules, clarifying that only 4 feet of a covered balcony counts as "open to sky" to prevent developers from creating large overhangs that visually negate setbacks.

Concerns were raised that the current midpoint-only distribution still allows massing to concentrate too heavily in one area and may not sufficiently break up large wall planes. To address this, the group discussed and agreed on adding a new distribution rule requiring a minimum of 1% of setback area in each quadrant of the side elevation, while still maintaining the overall 5% or 6.25% totals. This would force better visual articulation and evenly distribute building relief along the entire façade.

Planning consultant Christopher Gratz, AICP, agreed that the revised approach supports the goal of breaking up massing, though he noted it could affect certain architectural

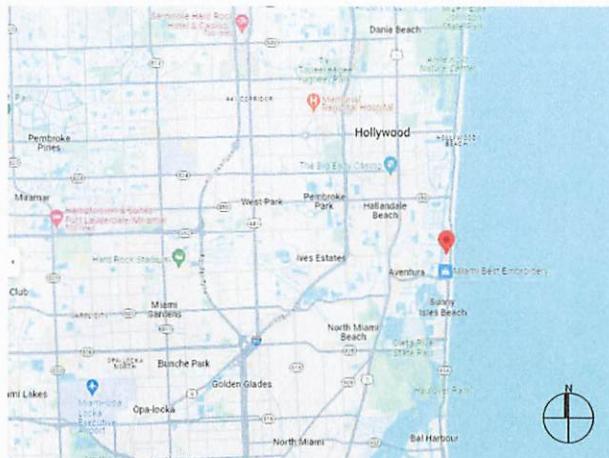
styles. The group concluded that the examples should be cleaned up and formally attached to the legislation with the new quadrant-based setback distribution incorporated.

**J. ADJOURNMENT: 6:47 pm**

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND FOR THAT SUCH PURPOSE, AFFECTION PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHER INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES IT



## LOCATION MAP AND LEGAL DESCRIPTION



**PROJECT SITE LOCATION:**  
334 S Parkway  
Golden Beach, FL 33160

**LATITUDE:** 25°57'50.93"N  
**LONGITUDE:** 80°7'18.51"W

**FOLIO No.:** 19-1235-005-0640

**LEGAL DESCRIPTION:**

GOLDEN BEACH SEC E PB 8-122

LOT 37 BLK G

LOT SIZE 59.860 X 175

OR 19151-1035 05 2000 1

COC 25519-3450 03 2007 1

### GENERAL NOTES

- ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
- ALL DIMENSIONS ON PLANS ARE SUBJECT TO VERIFICATION IN THE FIELD.
- IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF ENGINEER BEFORE PROCEEDING WITH WORK. CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS IN CONNECTION WITH THEIR WORK.
- IT IS THE INTENT OF THESE PLANS AND THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH LOCAL, STATE, AND FEDERAL ENVIRONMENTAL PERMITS ISSUED FOR THIS PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE AND GOVERN HIMSELF BY ALL PROVISIONS OF THESE PERMITS.
- APPLICABLE BUILDING CODE: FLORIDA BUILDING CODE, 2023 8<sup>th</sup> EDITION (AND CURRENT ADDENDUMS).
- APPROVED CONTRACTOR TO DETERMINE THE SUITABILITY OF EXISTING STRUCTURES AND VERIFY ALL DIMENSIONS. THE APPROVED CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCES AND PROCEDURES OF WORK.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS.
- CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK.
- CONTRACTOR TO PROPERLY FENCE AND SECURE AREA WITH BARRICADES.
- ANY DEVIATION AND/OR SUBSTITUTION FROM THE INFORMATION PROVIDED HEREIN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
- ALL NEW MATERIALS AND/OR PATCHWORK SHALL BE PROVIDED TO MATCH EXISTING MATERIALS AND/OR ADJOINING WORK WHERE PRACTICAL, EXCEPT AS SPECIFICALLY NOTED HEREIN.
- LICENSED CONTRACTOR SHALL USE ALL POSSIBLE CARE TO PROTECT ALL EXISTING MATERIALS, SURFACES, AND FURNISHINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- THE LICENSED CONTRACTOR TO INSTALL AND REMOVE ALL SHORING AND BRACING AS REQUIRED FOR THE PROPER EXECUTION OF THE WORK.
- ALL NEW WORK AND/OR MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF EACH ADMINISTRATIVE BODY HAVING JURISDICTION IN EACH PERTAINING CIRCUMSTANCE.
- THE CONTRACTOR WILL EMPLOY AND MAINTAIN ADEQUATE SEDIMENT AND EROSION CONTROL MEASURES TO PROTECT BISCAYNE BAY FROM SEDIMENT AND CONSTRUCTION DEBRIS.

### DESIGN CRITERIA

STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE FOLLOWING CODES AND SPECIFICATIONS:

- FLORIDA BUILDING CODE (FBC), 2023 8<sup>th</sup> EDITION
- ACI 318-19, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- ASCE 7-22, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
- NDS NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, 2018 EDITION
- EM 1116-2-1100 (PART VI) COASTAL ENGINEERING MANUAL, 2011 EDITION

IN THE EVEN OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND THE REQUIREMENTS OF THE REFERENCED STANDARDS OF THESE SPECIFICATIONS, THE PROVISIONS OF THE MORE STRINGENT SHALL GOVERN.

### DOCK LL 60 PSF

**BOLTS:** ALL BOLTS SHALL BE 316 STAINLESS STEEL, UNLESS OTHERWISE NOTED.

**REBAR:** ALL REBAR TO BE GALVANIZED GRADE 60 OR BETTER, UNLESS OTHERWISE NOTED.

### CONCRETE

- CONCRETE SHALL CONFORM TO ACI 318 (LATEST ED.) AND SHALL BE REGULAR WEIGHT, SULFATE RESISTANT, WITH DESIGN STRENGTH OF 5,000 PSI AT 28 DAYS W/ A MAX WATER-CEMENTOUS MATERIALS RATIO, BY WEIGHT, NORMAL WEIGHT AGGREGATE CONCRETE OF 40.
- OWNER SHALL EMPLOY AND PAY FOR TESTING SERVICES FROM AN INDEPENDENT TESTING LABORATORY FOR CONCRETE SAMPLING AND TESTING IN ACCORDANCE W/ ASTM.
- LICENSED CONTRACTOR IS RESPONSIBLE FOR THE ADEQUACY OF FORMS AND SHORING AND FOR SAFE PRACTICE IN THEIR USE AND REMOVAL.
- CONCRETE COVER SHALL BE 3" UNLESS OTHERWISE NOTED ON APPROVED DRAWINGS.
- REINFORCING STEEL SHALL BE IN CONFORMANCE WITH THE LATEST VERSION OF ASTM A615 GRADE 60 SPECIFICATIONS. ALL REINFORCEMENT SHALL BE PLACED IN ACCORDANCE W/ ACI 315 AND ACI MANUAL OF STANDARD PRACTICE.
- SPLICES IN REINFORCING BARS SHALL NOT BE LESS THAN 48 BAR DIAMETERS AND REINFORCING SHALL BE CONTINUOUS AROUND ALL CORNERS AND CHANGES IN DIRECTION. CONTINUITY SHALL BE PROVIDED AT CORNERS OR CHANGES IN DIRECTION BY BENDING THE LONGITUDINAL STEEL AROUND THE CORNER 48 BAR DIAMETERS.

### PILE DRIVING NOTES

- ALL PILES TO BE INSPECTED BY ENGINEER PRIOR TO INSTALL.
- ENGINEER TO OBSERVE PILE INSTALL PRIOR TO ISSUING PILE LOG.
- PILE DRIVING OPERATIONS SHALL BE OBSERVED BY A SPECIAL INSPECTOR, INCLUDING TEST PILES SUFFICIENT TO DETERMINE THE APPROXIMATE LENGTH REQUIRED TO MEET DESIGN CAPACITY.
- PILES SHALL BE DRIVEN USING AN APPROVED CUSHION BLOCK CONSISTING OF MATERIAL SO ARRANGED SO AS TO PROVIDE THE TRANSMISSION OF THE HAMMER ENERGY.
- PILES SHALL BE DRIVEN TO REQUIRED MINIMUM 15 TON (WOOD)/25-TON (CONCRETE) BEARING CAPACITY.
- PILES SHALL BE DRIVEN WITH A DROP HAMMER OR GRAVITY HAMMER PROVIDED THE HAMMER SHALL WEIGH NO LESS THAN 3,000 POUNDS, AND THE FALL OF THE HAMMER SHALL NOT EXCEED 6 FT.
- PILES SHALL BE DRIVEN WITH A VARIATION OF NOT MORE THAN  $\frac{1}{4}$  PER FOOT FROM THE VERTICAL, OR FROM THE BATTER LINE INDICATED, WITH A MAX VARIATION OF THE HEAD OF THE PILE FROM THE POSITION SHOWN ON THE PLANS OF NOT MORE THAN 3".
- WHERE PILING MUST PENETRATE STRATA OFFERING HIGH RESISTANCE TO DRIVING, THE STRUCTURAL ENGINEER OF RECORD OR SPECIAL INSPECTOR MAY REQUIRE THAT PILES BE SET IN PRE-DRILLED OR PUNCHED HOLES. THE PILES SHALL REACH THEIR FINAL PENETRATION BY DRIVING.
- PILES TO BE DRIVEN BASED ON RESULTS IN GEOTECHNICAL REPORT.

**CALL 811 FOR UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.**

## 334 S PARKWAY WATERFRONT IMPROVEMENTS PROJECT

Golden Beach, Florida

**CLIENT:**  
**JF DESCENDANTS TRUSTS**

334 South Parkway  
Golden Beach, Florida 33160

**ENVIRONMENTAL CONSULTANT:**  
**OCEAN**

**CONSULTING, LLC.**  
359 Alcazar Avenue, Suite 200  
Coral Gables, Florida 33134  
Tel: (305) 921-9344  
Fax: (305) 677-3254

**CONTRACTOR:**

**PROJECT ENGINEER:**  
**ADOLFO GONZALEZ P.E.**

2050 Coral Way Suite 502  
Miami, FL 33145  
Office - 305-415-8782

SEAL / SIGNATURE / DATE

Digitally signed  
by Adolfo J  
Gonzalez  
Date: 2025.07.15  
14:26:03 -04'00'

Adolfo Gonzalez PE  
Lic. No. 58620

## PERMIT DRAWINGS

**Issue #** Issue Date

① May 13, 2025 - VD

② July 9, 2025 - VD

PROJECT: 23-13825

**PROJECT LOCATION & NOTES**

SCALE: AS SHOWN  
SHEET NO.

**S-1**

GRAND CANAL (N.A.P.)

334 S PARKWAY  
WATERFRONT  
IMPROVEMENTS PROJECT

Golden Beach, Florida

CLIENT:  
JF DESCENDANTS TRUSTS

334 South Parkway  
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:  
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CONTRACTOR:

PROJECT ENGINEER:  
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PERMIT DRAWINGS

Issue # Issue Date

① May 13, 2025 - VD

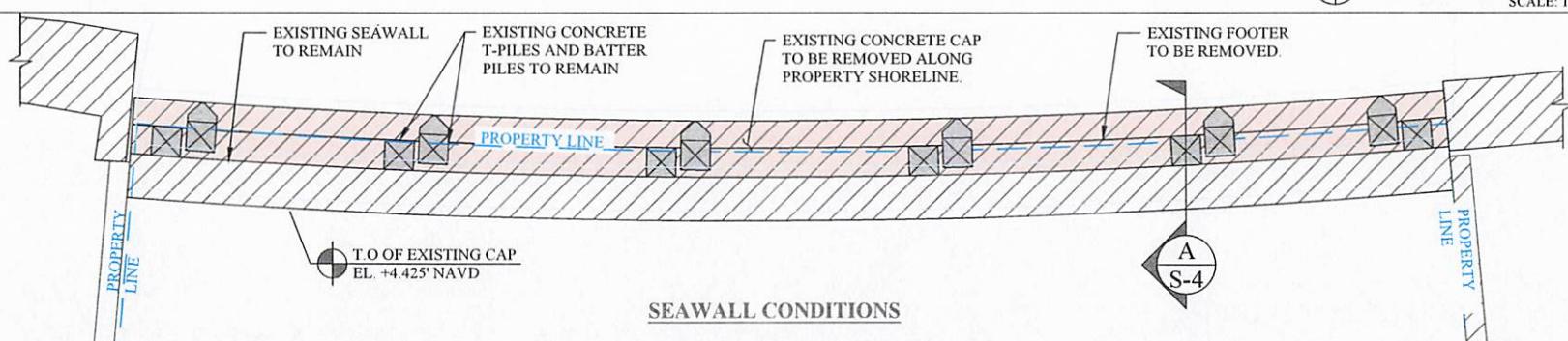
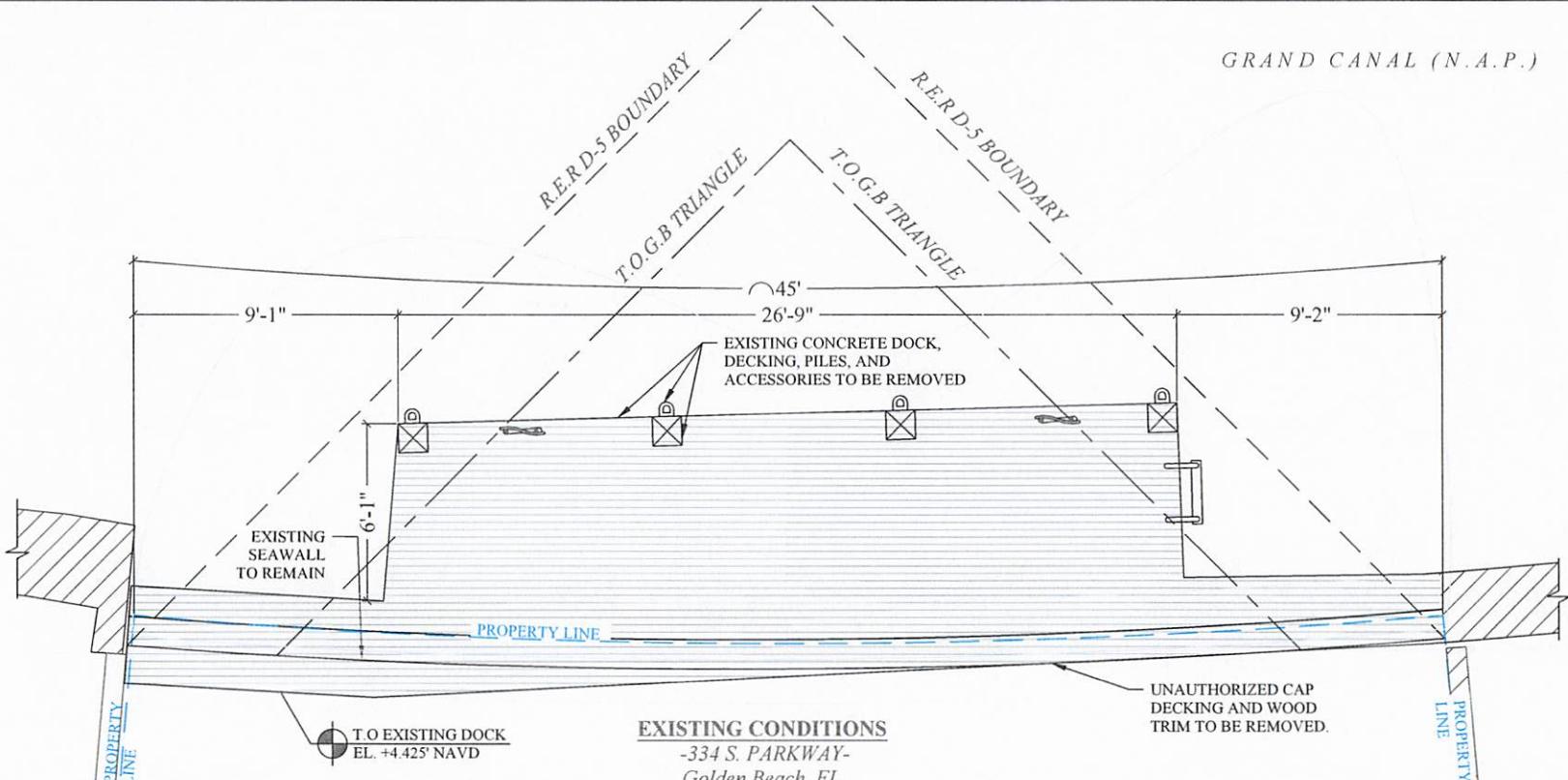
⚠ July 9, 2025 - VD

PROJECT: 23-13825

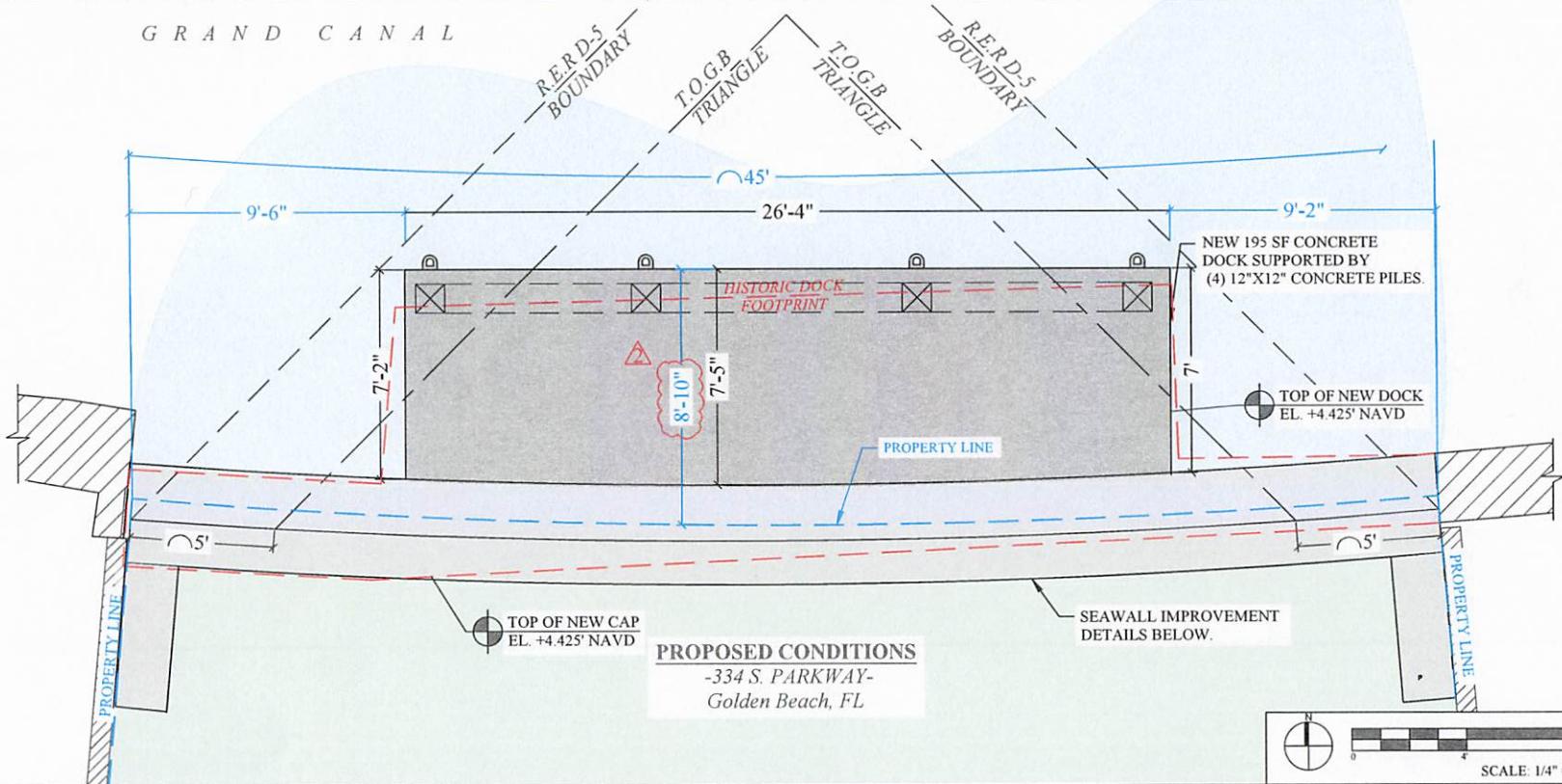
EXISTING CONDITIONS

SCALE: AS SHOWN  
SHEET NO.

S-2



GRAND CANAL



334 S PARKWAY  
WATERFRONT  
IMPROVEMENTS PROJECT

Golden Beach, Florida

CLIENT:  
JF DESCENDANTS TRUSTS

334 South Parkway  
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:  
OCEAN  
CONSULTING, LLC.

359 Alcazar Avenue, Suite 200  
Coral Gables, Florida 33134  
Tel: (305) 921-9344  
Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:  
ADOLFO GONZALEZ P.E.

2050 Coral Way Suite 502  
Miami, FL 33145  
Office - 305-415-8782

SEAL / SIGNATURE / DATE



Digitally signed  
by Adolfo J  
Gonzalez  
Date: 2025.07.15  
14:26:27 -04'00'

Adolfo Gonzalez PE  
Lic. No. 58620

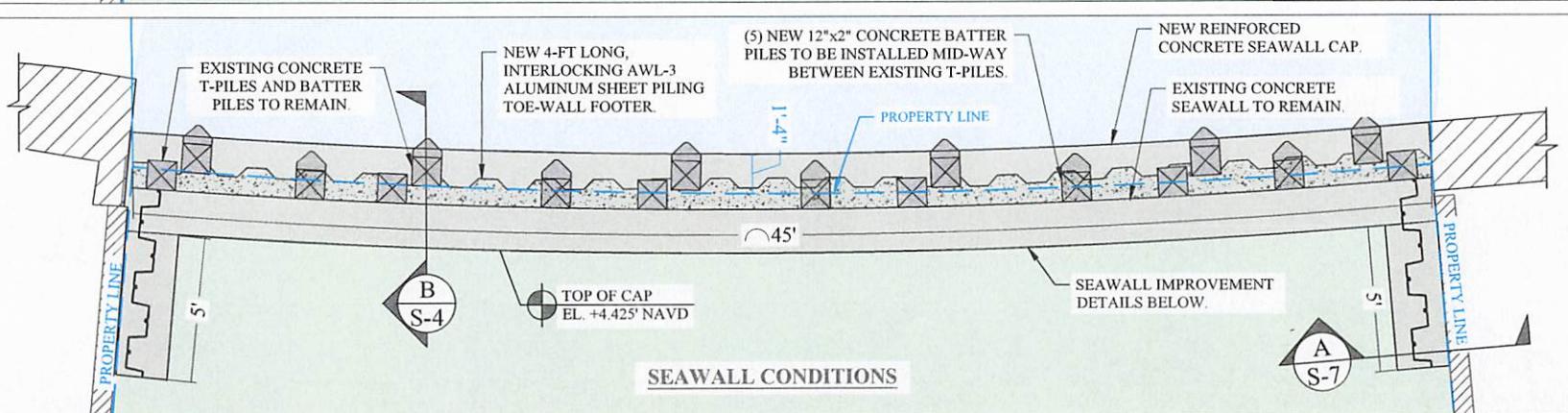
PERMIT DRAWINGS

Issue #	Issue Date
①	May 13, 2025 - VD
⚠	July 9, 2025 - VD

PROJECT: 23-13825

PROPOSED CONDITIONS  
SCALE: AS SHOWN  
SHEET NO.

S-3



**334 S PARKWAY  
WATERFRONT  
IMPROVEMENTS PROJECT**

Golden Beach, Florida

CLIENT:  
**JF DESCENDANTS TRUSTS**

334 South Parkway  
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:  
**OCEAN**

**CONSULTING, LLC.**

359 Alcazar Avenue, Suite 200  
Coral Gables, Florida 33134  
Tel: (305) 921-9344  
Fax: (305) 677-3254

CONTRACTOR:

PROJECT ENGINEER:  
**ADOLFO GONZALEZ P.E.**

2050 Coral Way Suite 502  
Miami, FL 33145  
Office - 305-415-8782

SEAL / SIGNATURE / DATE



Digitally signed  
by Adolfo J  
Gonzalez  
Date: 2025.07.15  
14:26:38 -04'00'

Adolfo Gonzalez PE  
Lic. No. 58620

**PERMIT DRAWINGS**

Issue # Issue Date

① May 13, 2025 - VD

② July 9, 2025 - VD

PROJECT: 23-13825

MOORING  
CONFIGURATION

SCALE: AS SHOWN  
SHEET NO.

**S-3A**

**G R A N D C A N A L**

**INGRESS  
EGRESS**

**INGRESS  
EGRESS**

**40' VESSEL**

**HISTORIC DOCK  
FOOTPRINT**

WET-FACE OF SEAWALL

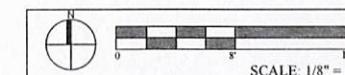
PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

**PROPOSED CONDITIONS**

-334 S. PARKWAY-  
Golden Beach, FL



SCALE: 1/8" = 1'

**334 S PARKWAY  
WATERFRONT  
IMPROVEMENTS PROJECT**

Golden Beach, Florida

CLIENT:  
**JF DESCENDANTS TRUSTS**

334 South Parkway  
Golden Beach, Florida 33160

ENVIRONMENTAL CONSULTANT:  
**OCEAN  
CONSULTING, LLC.**

359 Alcazar Avenue, Suite 200  
Coral Gables, Florida 33134  
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CONTRACTOR:

PROJECT ENGINEER:  
**ADOLFO GONZALEZ P.E.**

2050 Coral Way Suite 502  
Miami, FL 33145  
Office - 305-415-8782

SEAL / SIGNATURE / DATE

  
Digitally signed  
by Adolfo J  
Gonzalez  
Date: 2025.07.15  
14:26:48 -04'00'  
Adolfo Gonzalez PE  
Lic. No. 58620

**PERMIT DRAWINGS**

Issue # Issue Date

① May 13, 2025 - VD

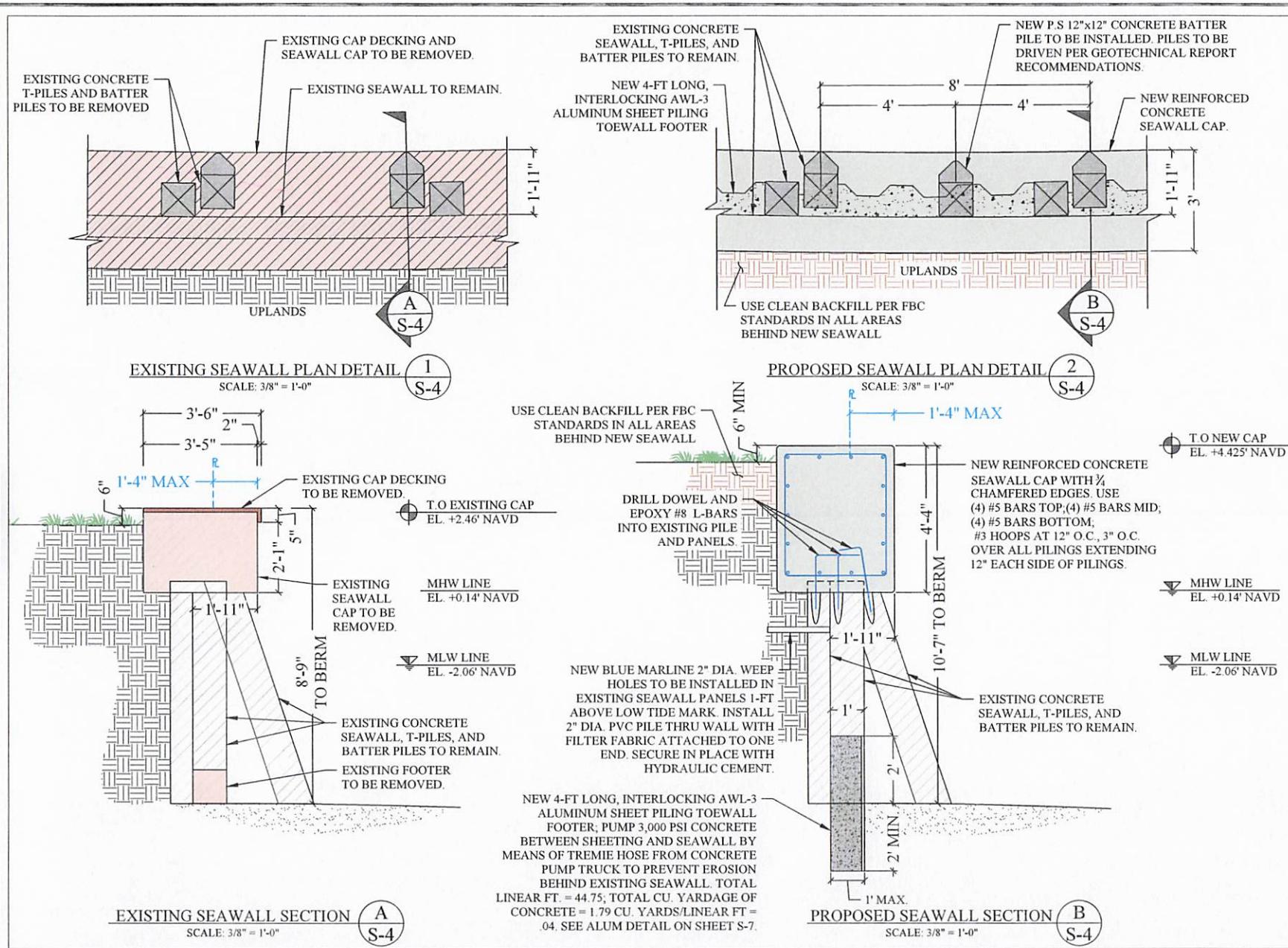
② July 9, 2025 - VD

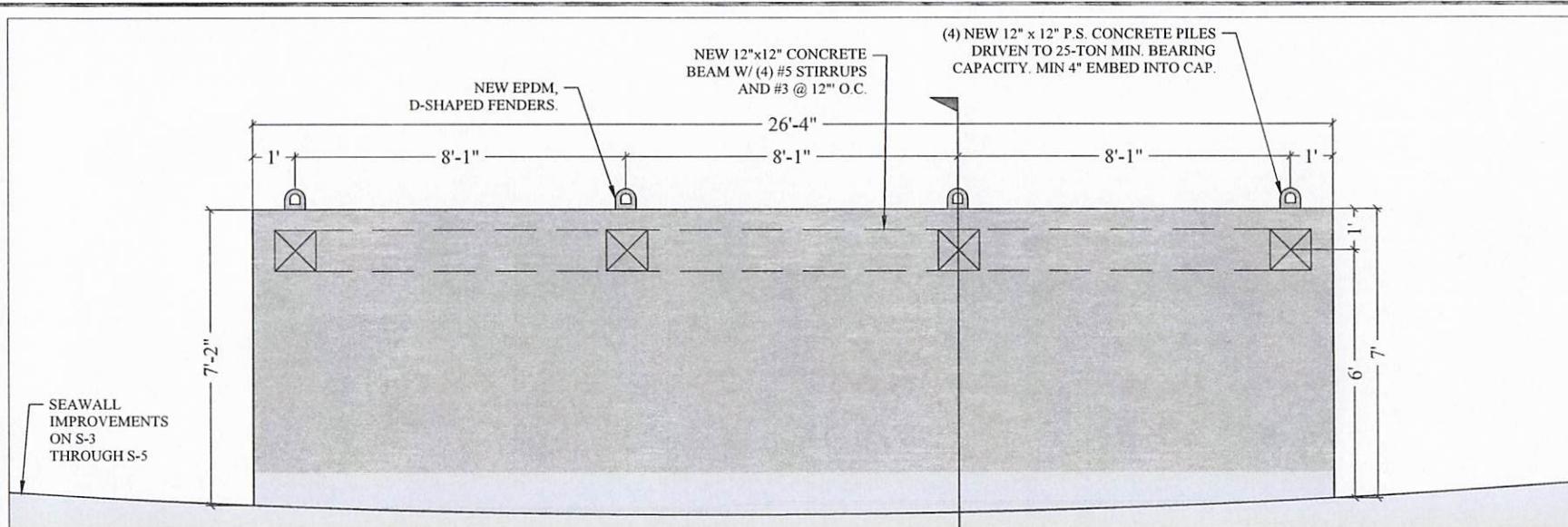
PROJECT: 23-13825

**SECTION DETAILS**

SCALE : AS SHOWN  
SHEET NO.

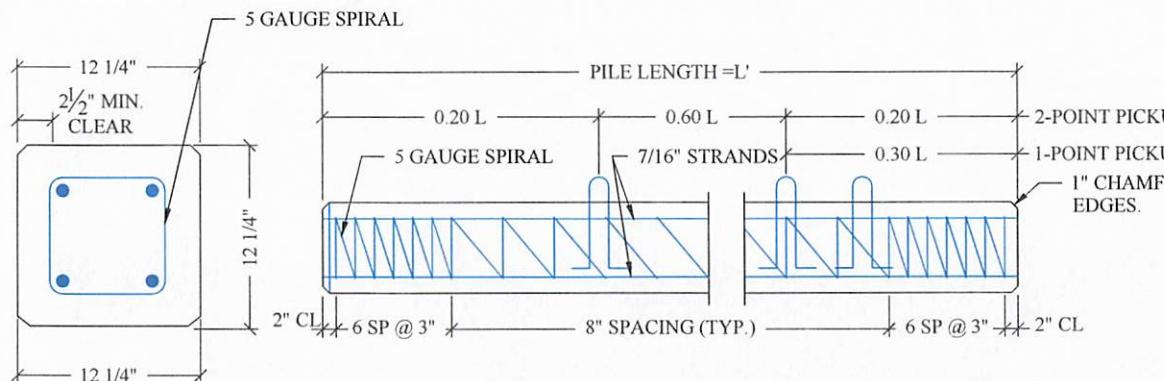
**S-4**





## STRUCTURAL FRAMING PLAN

SCALE:  $\frac{3}{8}$ " = 1'-0"



CONCRETE PILE DETAIL 1  
SCALE: 1-1/2" = 1'-0" S-5

PILE NOTE

CONCRETE COMPRESIVE STRENGTH:  
3000 PSI @ RELEASE  
5000 PSI @ DRIVING

- STRANDS - USE FOUR 7/16" (270K)  
LOW RELAXATION ASTM 416-87 UNCOATED  
7-WIRE STRANDS TENSIONED TO 2.33 KIPS EACH

1-POINT PICKUP-MAXIMUM L = 50  
2-POINT PICKUP-MAXIMUM L = 62

**SPIRAL TO BE ASTM A-82 TIGHT  
HARD-DRAWN WIRE**

Digital signature of Adolfo J. Gonzalez, Professional Engineer, PE #54220, State of Florida, License to Practice.

Adolfo Gonzalez PE  
Lic. No. 58620

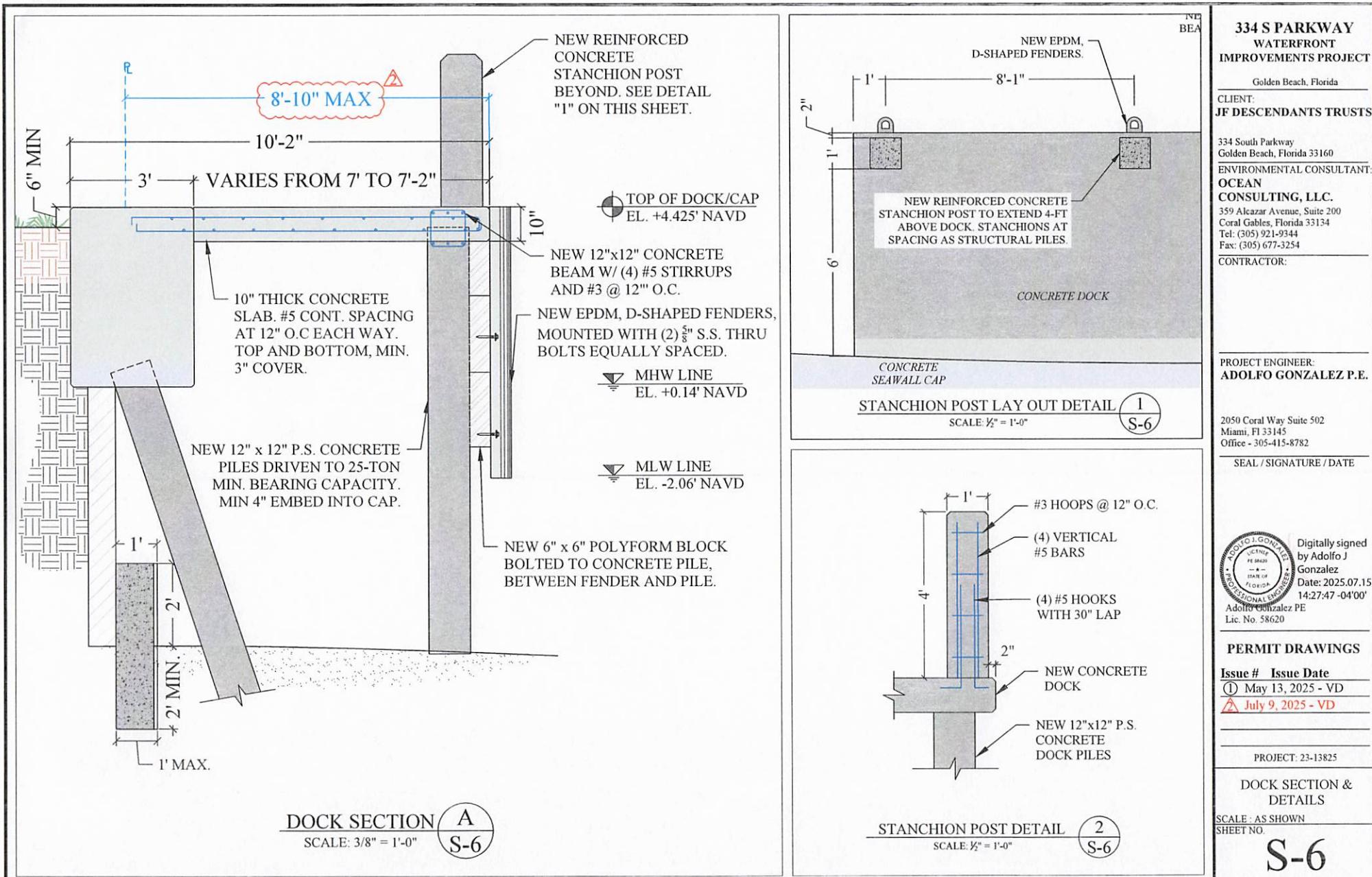
## PERMIT DRAWINGS

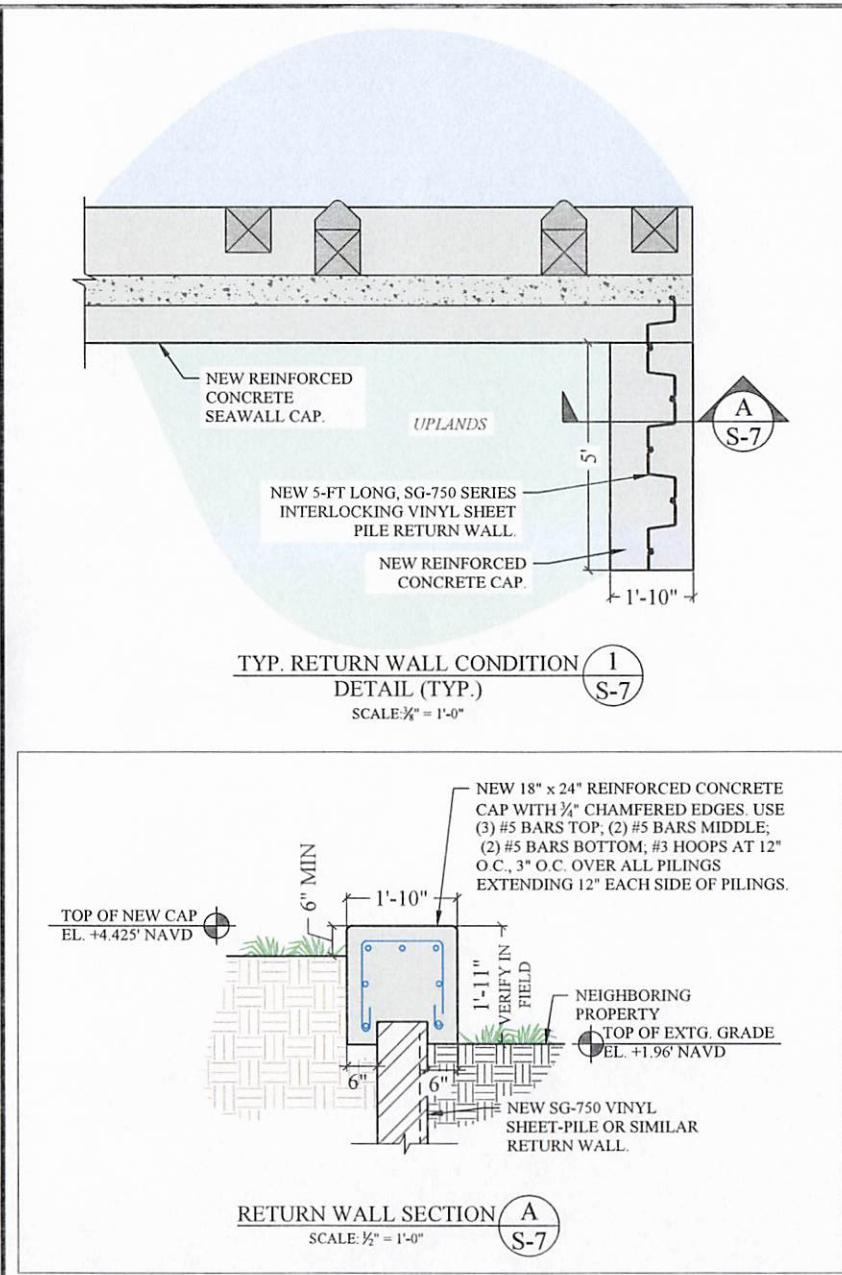
**Issue #** **Issue Date**  
① May 13, 2025 - VD  
② **July 9, 2025 - VD**

PROJECT: 23-13825

DOCK STRUCTURAL  
PLAN & DOCK PILE  
DETAIL  
SCALE : AS SHOWN  
SHEET NO.

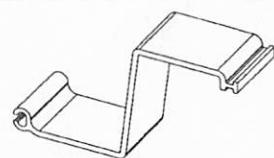
S-5



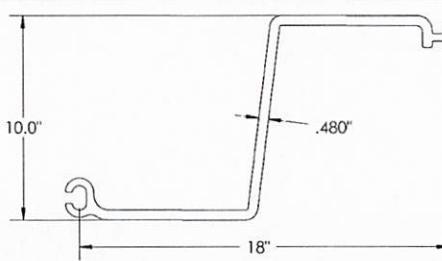





## SG-750



Allowable Moment (M)	8,480 ft-lb/ft	37.71 kN-m/m
Section Modulus (Z)	31.8 in <sup>3</sup> /ft	1,710 cm <sup>3</sup> /m
Moment of Inertia (I)	159 in <sup>4</sup> /ft	21,700 cm <sup>4</sup> /m
Impact Strength	15,000 in-lbs/in <sup>2</sup>	2,625 N-mm/mm <sup>2</sup>
Thickness (t)	0.480 in	12.2 mm
Section Depth	10.0 in	254 mm
Section Width	18 in	457 mm
Material	Weatherable Rigid Vinyl	
Standard Colors	Grey, Clay	
Technology	Z Profile, I-Beam Lock, XCR™	
Standard Packaging	12 sheets/bundle	



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**334 S PARKWAY**  
**WATERFRONT**  
**IMPROVEMENTS PROJECT**

**Golden Beach, Florida**

**CLIENT:**  
**JF DESCENDANTS TRUSTS**

**334 South Parkway**  
**Golden Beach, Florida 33160**

**ENVIRONMENTAL CONSULTANT:**  
**OCEAN**

**CONSULTING, LLC.**  
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_____	
_____	
PROJECT: 23-13825	

**RETURN WALL DETAILS**

<b>SCALE:</b>	AS SHOWN
<b>SHEET NO.</b>	S-7