

**TOWN OF GOLDEN BEACH, FLORIDA**

**RESOLUTION NO. 2944.24**

**A RESOLUTION OF THE TOWN OF GOLDEN BEACH, FLORIDA, AUTHORIZING AND APPROVING VARIANCE REQUESTS FOR THE PROPERTIES LOCATED AT 287, 291, & 299 OCEAN BOULEVARD, GOLDEN BEACH, FLORIDA 33160 TO PERMIT THE PROPERTY ELEVATIONS NOT TO EXCEED A HEIGHT OF 13.0' N.G.V.D. IN GRADE WHEN THE TOWN'S CODE PERMITS FOR A MAXIMUM GRADE ELEVATION OF 11' N.G.V.D.**

**WHEREAS**, the applicants, Gregory M. Cogan Trustee ("the applicant"), filed a Petition for Variances/exceptions, from Town Code Section 66-102. – Minimum lot and swale elevations; grade., (a) The finished grade of any lot shall not exceed an elevation of 24 inches above the crown of the road adjacent to the lot and in no event shall exceed an elevation of six feet N.G.V.D. except for lots abutting Ocean Boulevard where the minimum elevation shall be 12 inches above the crown of the road, and the maximum elevation shall not exceed an elevation of 11 feet N.G.V.D. Exterior slabs and walkways shall not exceed an elevation of 36 inches above the crown of the road adjacent to the lot; and

**WHEREAS**, the applicant's request is to allow the Elevation of the properties not to exceed an elevation height 13' NGVD; and

**WHEREAS**, these variances and exceptions are for the properties at 287, 291, 299 Ocean Boulevard, Golden Beach, FL. 33160 (GB Section C, N ½ of Lot 40, All of lot 41, 42, 43, & 44, Block A., as recorded in PB 9-52, of the Public Records of Miami-Dade County, (through Unity of Title – Folio No. 19-1235-003-0290, 19-1235-003-0310, 19-1235-003-0500 (the "Property") and,

**WHEREAS**, the Town's Building Regulation Advisory Board held an advertised public hearing on the Petition for Variance/Exception and recommended approval by the Town Council; and,

**WHEREAS**, a public hearing of the Town Council was advertised and held, as required by law, and all interested parties were given an opportunity to be heard; and

**WHEREAS**, the Town Council, having considered the evidence presented, finds that the Petition of Variance meets the criteria of the applicable codes and ordinances to the extent the application is granted herein.

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF GOLDEN BEACH, FLORIDA, AS FOLLOWS:**

**Section 1. Recitals Adopted.** Each of the above stated recitals are hereby adopted and confirmed.

**Section 2. Approval.** The Petition for Exception/Variance as granted is subject to the following conditions:

- (1) Applicant shall record a certified copy of this Resolution in the public records of Miami-Dade County; and the construction shall be completed substantially in accordance with those certain plan pages CD101, CG101, by R. Harvey Sasso, PE, dated 4/18/2024, and L010, L601, L200, L201, L400, L401 and L600 by Raymond Jungles, dated, 4/19/2024, and the Sketch of Boundary Survey, prepared by Jason H. Pinnell, 5734, Surveyor, dated 12/21/2023, for the properties located at 237, 291 and 299 Ocean Boulevard, Golden Beach, FL. 33160. For conveyance of this Variance, these parcels require a Unity of Title.

**Section 4. Implementation.** That the Building and Zoning Director is hereby directed to make the necessary notations upon the maps and records of the Town of Golden Beach Building and Zoning Department and to issue all permits in accordance with the terms and conditions of this Resolution. A copy of this Resolution shall be attached to the building permit application documents.

**Section 5. Effective Date.** This Resolution shall be effective immediately upon adoption.

**Sponsored by Administration.**


The Motion to adopt the foregoing Resolution was offered by Councilmember Lusskin, seconded by Councilmember Bernstein and on roll call the following vote ensued:

Mayor Glenn Singer	<u>Aye</u>
Vice Mayor Bernard Einstein	<u>Aye</u>
Councilmember Judy Lusskin	<u>Aye</u>
Councilmember Jaime Mendal	<u>Aye</u>
Councilmember Kenneth Bernstein	<u>Aye</u>

**PASSED AND ADOPTED** by the Town Council of the Town of Golden Beach,

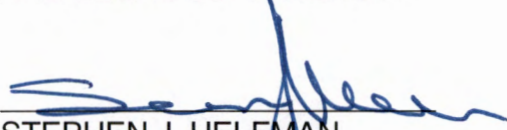
Florida, this 21<sup>st</sup> day May, 2024

ATTEST:

  
\_\_\_\_\_  
LISSETTE PEREZ  
TOWN CLERK

  
\_\_\_\_\_  
MAYOR GLENN SINGER

APPROVED AS TO FORM  
AND LEGAL SUFFICIENCY:

  
\_\_\_\_\_  
STEPHEN J. HELFMAN  
TOWN ATTORNEY

TOWN OF GOLDEN BEACH  
BUILDING AND ZONING DEPARTMENT  
MEMORANDUM

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**TO:** Building Regulatory Advisory Board  
**FROM:** Christopher M. Gratz, AICP, Consulting Planner  
**DATE:** May 14<sup>th</sup>, 2024  
**SUBJECT:** Variance for a new Residence, 299, 291, 287 Ocean Boulevard

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**GENERAL PROPERTY INFORMATION**

**Land Use Designation:** Low Density Residential  
**Zoning District:** Zone One (1)  
**Address:** 299, 291, 287 Ocean Boulevard  
**Legal Description:** Lot 20, Block "B" of Section "B" of Golden Beach, According to the Plat thereof, as recorded in Plat Book 9, Page 52 of the Public Records of Miami-Dade County; together with the north ½ of Lot 40 and all of lots 41 through 44, Block "A" of Section "C" of Golden Beach, According to the Plat thereof, as recorded in Plat Book 9, Page 52 of the Public Records of Miami-Dade County.  
**Lot Information:** Full-sized lot, 275' frontage, average depth of 381.8', 104,579 square feet (2.4008 acres)

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**APPLICATION INFORMATION**

**Owner/Agent:** Gregory M Cogan Trs, Florida Land Trust No 1 GB/David Galler

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**REQUEST**

Variance **FROM:** Town Code §66-102(a) which requires the finished grade of any lot shall not exceed an elevation of 24 inches above the crown of the road adjacent to the lot and in no event shall exceed an elevation of six feet N.G.V.D. except for lots abutting Ocean Boulevard where the minimum elevation shall be 12 inches above the crown of the road, and the maximum elevation shall not exceed an elevation of 11 feet N.G.V.D.;

**TO:** allow the finished grade of the lot to be 13' NGVD (2' higher).

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## HISTORY

The property contains three (3) homes that will be demolished according to the Miami-Dade Property Appraiser.

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## ANALYSIS

### DIVISION 2. - VARIANCES

#### **§66-41. - Authorized, general procedure.**

(a) The Building Regulation Advisory Board may recommend pursuant to the hearing as provided in §66-42 the granting of a Variance by the Town Council from the terms of the zoning provision of this chapter if it is not contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions will result in unnecessary and undue hardship. In order to recommend any Variance from the terms of this chapter, the Board shall find the following:

- (1) The Variance is in fact a Variance from a zoning regulation as set forth within this chapter.

***The request is for variances from zoning regulations.***

- (2) Special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same district.

***This property has an existing average grade that is higher than the maximum 11 NGVD allowed by the Town Code.***

- (3) The special conditions and circumstances do not result from the actions of the applicant.

***The variance request is a result of the applicant's desire to reduce the amount of site disturbance and need to offset soil cut offsite.***

- (4) Granting the Variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands or structures in the same district.

***The granting of the variance directly confers a special privilege to the owner by allowing a lot elevation higher than what is allowed in Zone 1.***

- (5) Literal interpretation of the provisions of this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant.

***No evidence has been presented that an undue hardship would be incurred by having a lot grade that is in compliance with the Code.***

(6) The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure.

***The requested variance is what the applicant needs to achieve the desired design. No evidence has been presented that achieving the lot grade the Town Code requires is not reasonable.***

(7) The granting of the Variance will be in harmony with the general intent and purpose of this chapter and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

***The intent of the Town Code is to promote the construction of luxury homes with the designs of new development that are compatible with existing development and have a cohesive architectural character per Town Codes §50-2(a) & (c). The impact of allowing the average grade being 2' higher on a property so large may have a noticeable visual impact.***

(b) In recommending the granting of any Variance, the Building Regulation Advisory Board may prescribe appropriate conditions and safeguards in conformity with this Code. Violation of the conditions and safeguards, when made a part of the terms under which the Variance is granted, shall be deemed a violation of the Code of Ordinances. The Building Regulation Advisory Board may prescribe a reasonable time limit wherein the Construction of the structure subject to the Variance is required to be completed.

***No conditions are recommended.***

(c) Under no circumstances shall the Building Regulation Advisory Board recommend the granting of a Variance or a use not generally permitted in the district involved or any use expressly or by implication prohibited by the terms of this Code in the district. No nonconforming use of neighboring lands, structures or buildings in the same district and no permitted use of lands, structures or buildings in other districts shall be considered grounds for a Variance.

***The request is not for a use variance.***

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#### RECOMMENDATION

The applicant has failed to provide any substantial competent evidence to support the request and fails to meet the criteria required by the Town Code for the granting of a variance; therefore **denial** of the application is recommended.



# TOWN OF GOLDEN BEACH NOTICE OF PUBLIC HEARING

The **BUILDING ADVISORY BOARD** and the **TOWN COUNCIL** of the **TOWN OF GOLDEN BEACH** will hold a Public hearing on the following proposal:

    X     Variance Request(s)  
           Accessory Structures

Construction of a new single-family residence

Relief from Town Code §66-102(a) which requires the finished grade of any lot shall not exceed an elevation of 24 inches above the crown of the road adjacent to the lot and in no event shall exceed an elevation of six feet N.G.V.D. except for lots abutting Ocean Boulevard where the minimum elevation shall be 12 inches above the crown of the road, and the maximum elevation shall not exceed an elevation of 11 feet N.G.V.D.;

Request is to allow the finished grade of the lot to be 13' NGVD (2' higher)

JOB ADDRESS:	291, 287, and 299 Ocean Boulevard, Golden Beach, FL, 33160 (Through Unity of Title)
OWNER ADDRESS:	151 Tremont St Ste 110 Pmb 392, Boston, Ma 02111
REQUESTED BY:	Gregory M Cogan Trs & Florida Land Trust No 1gb
LEGAL DESCRIPTION:	Lot 20, N ½ of Lot 40, All Lot 41, 42, 43, and 44, Blk A & B, GB Sec C PB 9-52
FOLIO NO.:	19-1235-003-0310, 003-0290, 002-0500

The **BUILDING ADVISORY BOARD** will consider this item.

Golden Beach Town Hall  
100 Ocean Boulevard  
Golden Beach, FL 33160  
<https://us02web.zoom.us/j/89291108015?pwd=NS8rWnJhN21mSUdlcmFadHErei8yZz09>  
Meeting ID: 892 9110 8015  
Passcode: 752288  
May 14, 2024 at 6pm

The **TOWN COUNCIL** will consider this item:

Golden Beach Town Hall  
100 Ocean Boulevard  
Golden Beach, FL 33160  
<https://us02web.zoom.us/j/84846705084?pwd=bjNxUVNuUUx0andxRDJJSCtFdTJkUT09>  
Meeting ID: 848 4670 5084  
Passcode: 949843  
May 21, 2024 at 6pm

If you wish to submit written comments for consideration, they should be submitted to the Office of the Golden Beach Town Manager, prior to the scheduled meeting. If you have any questions regarding the proposed action, you may contact the Building Department at (305) 932-0744.

Dated: May 2, 2024  
  
Linda Epperson – Assistant Town Manager

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE COUNCIL, BOARD OR COMMITTEE WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. ANY INDIVIDUAL WHO BELIEVES HE OR SHE HAS A DISABILITY WHICH REQUIRES A REASONABLE ACCOMMODATION IN ORDER TO PARTICIPATE FULLY AND EFFECTIVELY IN A MEETING OF THE BUILDING REGULATION BOARD MUST SO NOTIFY THE TOWN CLERK AT (305) 932-0744 AT LEAST 24 HOURS PRIOR TO THE DATE OF THE MEETING.

March 20, 2024

jungles

287, 291, 299 Ocean Boulevard

Golden Beach Variance Request

**Memo: *Request for Variance for Sec. 66-102 (a) – 299 Ocean Boulevard***

As a means of designing to promote environmental resilience and reducing the impacts of site disturbance, we request a grade variance to Golden Beach Code Sec 66-102 (a), to allow site grades to reach elevation 13 N.V.G.D. As illustrated on Landscape sheet L601, the proposed maximum lot elevation / FFE of elevation 13 N.V.G.D. closely follows the existing grade of the site. This approach reduces the amount site disturbance and the need to offset soil cut offsite. Opting to set the grade at elevation 11 N.V.G.D would result in several feet of cut across a large swath of the site.

By setting the structure FFE at elevation 13 N.V.G.D., we also even the grade between adjacent properties, both of which have significant amount of area at or above elevation 13. This promotes optimal drainage between properties and towards Ocean Boulevard, the crown of which sits at elevation 10.44 N.V.G.D.



TOWN OF GOLDEN BEACH  
BUILDING REGULATION ADVISORY BOARD  
APPLICATION FOR  
PETITION FOR VARIANCE

Date: 05/16/24

Fee: \$750.00

I, Michael J. Marrero, as legal representative hereby petition the Town of Golden Beach for a variance from the terms of the Town of Golden Beach Code of Ordinances affecting property located at: 287, 291, and 299 Ocean Boulevard, Golden Beach, FL 33160 Folio No. 19-1235-003-0290; 19-1235-003-0310; 19-1235-002-0500

As specified in the attached "Application for Building Regulation Advisory Board" and related supporting material.

1. The Variance requested is for relief from the provisions of **(list section number(s) of the Town of Golden Beach Code of Ordinances)**: Sec. 66-102(a)

*"The finished grade of any lot shall not exceed an elevation of 24 inches above the crown of the road adjacent to the lot and in no event shall exceed an elevation of six feet N.G.V.D. except for lots abutting Ocean Boulevard where the minimum elevation shall be 12 inches above the crown of the road, and the maximum elevation shall not exceed an elevation of 11 feet N.G.V.D. Exterior slabs and walkways shall not exceed an elevation of 36 inches above the crown of the road adjacent to the lot."*

2. In order to recommend the granting of the variance, it must meet all the following criteria (please provide a response to each item):

- a. The Variance is in fact a Variance from a zoning regulation as set forth within the Zoning Chapter of the Town Code. \_\_\_\_\_

*The variance requested is a variance from zoning regulation Sec. 66-102(a) of the Town Code. This section requires the maximum elevation of grade to be at 11FT NGVD. We are requesting to maintain the existing grade on site which is between 12FT - 13FT NGVD.*

- b. Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district. \_\_\_\_\_

*The special condition in this case is the existing condition on site, which provides a grade at a higher elevation than what is allowed by Town Code.*

- c. The special conditions and circumstances do not result from the actions of the applicant. \_\_\_\_\_

*The special conditions and circumstances do not result from any actions of the applicant. The property was purchased in this condition and we would like to request to be grandfathered in to current code requirements. This will lessen the environmental impact of work on site.*

- d. Granting the Variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district. \_\_\_\_\_

*Confirming the granting of the variance will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district.*

TOWN OF GOLDEN BEACH  
BUILDING REGULATION ADVISORY BOARD  
PETITION FOR VARIANCE

3. Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant. \_\_\_\_\_

Confirming the literal interpretation of the code would result in unnecessary work and undue hardship on the surrounding environment. The goal of this project is to design with environmental resiliency in mind. Lowering the grade will disturb the natural habitat would cause a great environmental impact on site and surrounding sites as storm drainage will be negatively affected.

4. The Variance granted is the *minimum* Variance that will make possible the reasonable use of the land or structure. Confirmed. \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

5. The granting of the Variance will be in harmony with the general intent and purpose of the Town Code and the Variance *will not* be injurious to the area involved or otherwise detrimental to the public welfare. Confirmed. \_\_\_\_\_  
\_\_\_\_\_

Does the Variance being requested comply with all the above listed criteria?  
 Yes  No

6. Our code states that submission of a written statement is invited and encouraged. Has the applicant (petitioner) explained the variance to the owners of the nearest adjacent residences and sought their approval in writing? Yes  No   
Please attach any written letters of no objection to this petition.

7. Is this request related to new construction?  Yes  No

8. Is construction in progress? No \_\_\_\_\_

9. Is this request as a result of a code violation? No \_\_\_\_\_

10. Did this condition exist at the time property was acquired?  Yes  No

11. Is this request sought as a remedy to a case to be heard, or action taken by the Special Magistrate? Remedy to a case to be heard. \_\_\_\_\_

12. Do you have a building permit?  Yes  No

Building Permit No. \_\_\_\_\_ Date issued: \_\_\_\_\_

TOWN OF GOLDEN BEACH  
BUILDING REGULATION ADVISORY BOARD  
PETITION FOR VARIANCE  
AFFIDAVIT BY OWNER

Affidavit by Owner for Variance Request(s):

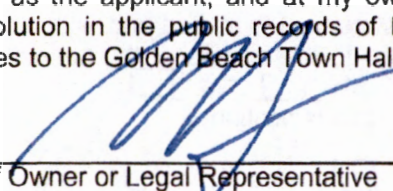
Folio No.: 19-1235-002-0500 Address: 287, 291, and 299 Ocean Boulevard, Golden Beach, FL 33160 (Unity of Title under review)

Legal Description: Lots 20, in Block "B", of Golden Beach Section "B", Lot 44, Lot 43, Lot 42 and Lot 41 in Block "A" Golden Beach Section "C", according to the plat thereof, recorded in plat book 9 at page 52, of the public records of Miami-Dade County, Florida.

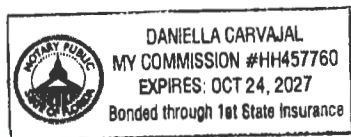
Being duly sworn, deposes and says: That He/She is the Owner named in the application for Building Advisory Board for the hearing date of 02/14/24 relating to Variance requests for construction or other work to be performed on, or in connection with, the premises located as indicated in the application.


I acknowledge notification by The Town of Golden Beach, that granting of a variance(s) by The Town Council, is conditioned on the following:

1. That a Building Permit for the contemplated work pursuant to the Variance must be issued within two (2) years from the date of the approval of the Resolution granting such variance request.
2. If a Building Permit is not issued within the two (2) year time limit set then the Resolution granting the Variance approval will be null and void.
3. That as the applicant, and at my own expense, I shall record a certified copy of the Resolution in the public records of Miami-Dade County and return two (2) certified copies to the Golden Beach Town Hall for inclusion into my property records.

  
\_\_\_\_\_  
Signature of Owner or Legal Representative

Sworn to and subscribed before me this 16 day of, May, 2024



  
\_\_\_\_\_  
Notary Public State of Florida at Large

Personally know to me       Produced Identification

**TOWN OF GOLDEN BEACH  
APPLICATION FOR  
BUILDING REGULATION ADVISORY BOARD HEARING**

Application fee: \$2,375.00

Request hearing in reference to:

New residence/addition: New Residence Variance(s): Requesting variance to Section 66(102)a  
 Exterior alterations: None Other Structure: None  
 Date application filed: 11/30/23 For hearing date: 12/12/23

1. **Project information:** Proposed new construction of a 2-story single family residence and a detached cabana. The main residence houses 8 bedrooms, 10 full bathrooms, 2 half bathrooms, and has an understory containing Laundry, Gym, Storage, 1 Bathroom, and 3 Garages.  
**Project description:** \_\_\_\_\_  
**Legal Description:** Lots 20, in Block "B", of Golden Beach Section "B", Lot 44, Lot 43, Lot 42 and Lot 41 in Block "A" Golden Beach Section "C", according to the plat thereof, recorded in plat book 9 at page 52, of the public records of Miami-Dade County, Florida.  
**Folio #:** 19-1235-002-0500  
**Address of Property:** 287, 291, and 299 Ocean Boulevard, Golden Beach, FL 33160

2. Is a variance(s) required: Yes  No  How Many? \_\_\_\_\_  
 (If yes, please submit variance application form for each request).

Owner's Name: Gregory M. Cogan, Trustee\* Phone 617-659-2123 Fax Please call

Owner's address: 151 Tremont St, Suite 110 PMB 392 City/State Boston, MA Zip 02111

Email address: greg@lackcogan.com

Agent: David Galler Phone 617-365-2728 Fax None

Agent's address: 1581 Brickell Ave, Suite 1705 City/State Miami, FL Zip 33129

Email address: david.galler@yahoo.com

Architect: Sofia Mere, Strang Design Phone 305-373-4991 Fax Please email

Email address: sofia@strang.design

Contractor: Woolems Inc. Phone 561-835-0401 Fax 561-835-0403

\*of Florida Land Trust No. 1GB u/a/d as of 12/20/2021

3. Describe project and/ or reason for hearing request: Design review of new construction residence.

4. The following information is submitted for assisting in review:

**Building Plans:**

Conceptual:  Preliminary:  Final:   
 Other: \_\_\_\_\_

5. Estimated cost of work: \$25.5M (A/C sf x \$1000/sf)  
 Estimated market value of: Land \$ \$61,930,662 (from tax bill)  
 Building \$ Existing buildings to be demolished

(Note: If estimated cost of work is 40% of the market value of the building an independent appraisal is required).

TOWN OF GOLDEN BEACH  
APPLICATION FOR  
BUILDING REGULATION ADVISORY BOARD HEARING

6. Is hearing being requested as a result of a Notice of Violation? No \_\_\_\_\_
7. Are there any structures on the property that will be demolished? Yes \_\_\_\_\_
8. Does legal description conform to plat? Unity of Title is under review \_\_\_\_\_
9. Owner Certification: I hereby certify that I am the owner of record (\*) of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of owner(s): \_\_\_\_\_

Acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Type of identification:

\_\_\_\_\_  
Notary Public

Owner/Power of Attorney Affidavit:

I, being duly sworn, depose and say I am the owner (\*) of the property described in this application and that I am aware of the nature and request for: NEW RESIDENCE  
BERCOW RADELL FERNANDEZ LARKIN + TAPANES relative to my property and I am hereby authorizing \_\_\_\_\_ to be my legal representative before the Building Regulation Advisory Board and Town Council.

\_\_\_\_\_  
Signature of owner(s)

Acknowledged before me this \_\_\_\_\_ day \_\_\_\_\_ 20 \_\_\_\_\_

Type of identification:

\_\_\_\_\_  
Notary Public

(\*) If owner of record is a corporation then the president with corporate seal, the president and the secretary (without corporate seal), or duly authorized agent for the corporation may execute the application, proof that the corporation is a corporation in good standing.

Lots 20, in Block "B", of Golden Beach Section "B", Lot 44, Lot 43, Lot 42 and Lot 41 in Block "A" Golden Beach Section "C", according to the plat thereof, recorded in plat book 9 at page 52, of the public records of Miami-Dade County, Florida.

**TOWN OF GOLDEN BEACH  
APPLICATION FOR  
BUILDING REGULATION ADVISORY BOARD HEARING**

Property Address: 287, 291, and 299 Ocean Boulevard, Golden Beach, FL 33160  
 Legal Description: \_\_\_\_\_  
 Owner's Name: Gregory M. Cogan, as trustee\* Phone 617-659-2123 Fax Please call  
 Agent's Name: David Galler Phone 617-365-2728 Fax None  
 Board Meeting of: 11/30/23, hearing date 01/09/24  
\*of Florida Land Trust No 1GB w/a/d as of 12/20/2021

- NOTE: 1. **Incomplete applications will not be processed.**  
 2. Applicant and/or architect must be present at meeting.

Application for: 287, 291, and 299 Ocean Boulevard, Golden Beach, FL 33160  
 Lot size: 275.00' x 373.30'  
 Lot area: 104,570 SF or 2.4 Acres  
 Frontage: 275.00'  
 Construction Zone: Zone One  
 Front setback: 20'-0" REQUIRED; 20'-0" PROVIDED  
 Side setback: 10'-0" REQUIRED; 10'-0" PROVIDED  
 Rear setback: MUST ALIGN WITH ADJACENT RESIDENCES; 84'-10" PROVIDED  
 Coastal Const. function: Yes  No  East of coastal const. control line: Yes  No   
 State Road A1A frontage: 275.00'  
 Swimming pool:  Yes  No Existing: See survey Proposed: 22'-5" SETBACK  
 Fence Type: Side: CBS Wall, Front/Rear: aluminum gate Existing: 4-5FT High Proposed: 6FT High  
 Finished Floor elevation N.G.V.D.: Ground: 13.17' NGVD; First: 24.67' NGVD; Second: 39.17' NGVD  
 Seawall: None proposed Existing: 0.9' High Proposed: None  
 Lot Drainage: The system is a zero discharge.  
 How will rainwater be disposed of on site? The surface water and roof water is being collected around the site and is being disposed into a seepage system.  
 Adjacent use (s): Residences  
 Impervious area: 55,790 SF  
 % of impervious area: 53.35%  
 Existing ground floor livable area square footage: N/A  
 Proposed ground floor livable area square footage: Ground: 9,688 SF, First: 9,849 SF (area Under A/C)  
 Existing 2<sup>nd</sup> floor livable area square footage: N/A  
 Proposed 2<sup>nd</sup> floor livable area square footage: (area Under A/C) Second: 5,941 SF  
 Proposed % of 2<sup>nd</sup> floor over ground floor: 60.3%  
 Vaulted area square footage: N/A this project only has flat ceilings  
 Vaulted height: N/A this project only has flat ceilings  
 Color of main structure: Beige  
 Color of trim: Beige  
 Color & material of roof: White, TPO  
 Building height (above finished floor elevation): 27'-0" (51 50' NGVD) from First Floor Slab (24.33' NGVD)  
 Swale: (Mandatory 10'-0" from edge of payment, 10 ft. wide x 1 ft. deep minimum):  
The mandatory swale requirements of 10FT wide by 1FT deep will be provided.  
 Existing trees in Lot: 156 in Swale: 9  
 Proposed trees in Lot: 257 in Swale: 9  
 Number & type of shrubs: 640 shrubs proposed in lot, 0 proposed in swale  
 Garage Type: Enclosed Existing: Enclosed Proposed: Enclosed  
 Driveway width & type: Proposing to keep existing 2-way (24'-0" wide) and 1-way (12'-0") driveways.

Date: \_\_\_\_\_  
 \_\_\_\_\_  
 SIGNATURE OF APPLICANT

**TOWN OF GOLDEN BEACH**  
**APPLICATION FOR**  
**BUILDING REGULATION ADVISORY BOARD MEETING/HEARING**

Property Location: 287, 291, 299 Ocean Boulevard, Golden Beach, FL 33160 Meeting Date: 01/09/23  
Variance Hearing Dates: Advisory Board \_\_\_\_\_ Town Council \_\_\_\_\_

APPROVAL FROM THE BUILDING REGULATION ADVISORY BOARD IS REQUIRED FOR:

- A. Plans for new residence
- B. Plans for addition to or exterior alterations of an existing structure.
- C. Additional structures on premises of existing residences
- D. Review of landscape plan for new construction, renovation or addition to existing residence.
- E. Recommendation to Town Council for the approval or denial of variances and special exceptions.
- F. Recommendation to Town Council for interpretation regarding apparent conflicts or inconsistencies in the zoning provisions in Chapters 46 & 66

**APPLICATION HEARING PROCESS**

**Building Approval:**

Applicant shall submit 2 completed packages for review and approval. Each package shall consist of an application, survey, warranty deed and drawings as required. The plans shall be sized as follows: 2 sets 11" x 17" and 1 USB/ flash drive containing everything submitted hard copy (including application). This is separate from the landscaping plan submittal.

**Landscape Approval - Separate Submittal from the Building Submittal** Applicant shall submit 2 complete packages for review and approval. Each package shall consist of an application, existing landscape and tree disposition survey, proposed site plan and landscape plans as required. The plans shall be sized as follows: 1 set 11 x 17, 1 full size set 24" x 36" and 1 USB/ flash drive containing everything submitted hard copy (including application).

**Zoning Variance Approval:**

Submittal for a zoning variance: submit 2 complete packages for approval: each package shall consist of an application, survey, warranty deed and drawings are required. The plans shall be sized as follows: 2 sets 11" x 17" and 1 USB/ flash drive containing everything submitted hard copy (including application).

**Final Submittal Requirement:**

Eight days prior to the meeting and after all approvals have been obtained. The applicant shall submit for the Board's approval an additional 8 completed application packages, for both Building and Landscaping, which shall consist of a copy of the completed application, approved plans 8 sets 11 x 17 of the approved building and landscape applications, a survey, warranty deed, any other required documentation by the reviewer, and USB/ flash drive containing everything submitted hard copy (including application).

The Building Regulation Advisory Board (B.R.A.B.) meets at 6:00 P. M. on the second Tuesday of every month. Applications must be submitted 40 days, prior to scheduled

Any variances required must be heard and approved by the Town Council after the Building Regulation Advisory Board has considered the item. The Variance will be heard by the Town Council, in the following month, (on the third Tuesday), after the Building Regulation Advisory Board's action, at the Town Council's regularly scheduled meeting.

**\*\*NOTICE\*\***

**INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. PLEASE MAKE SURE THAT YOU, THE APPLICANT, HAVE CHECKED AND MARKED ALL THE REQUIREMENTS OF THE APPLICATION. IF SUBMITTALS HAVE BEEN INACTIVE FOR 90 DAYS OR MORE, THEY WILL AUTOMATICALLY BE PLACED ON INACTIVE STATUS AND NEW SUBMITTALS WILL BE REQUIRED.**

**TOWN OF GOLDEN BEACH APPLICATION FOR  
BUILDING REGULATION ADVISORY BOARD HEARING**

1. The application deadline date will be adhered to. No application will be accepted after the date and time specified.
2. The Building Department will review the application package. If it is determined that the application is incomplete, the item will not be accepted and returned to the applicant for correction.
3. During the Forty Day (40) period from the deadline date to the hearing date the following events shall take place in proper order:
  - a) During the first week upon submittal, the zoning and landscape reviewers, or the Town's designated agent will review the application and complete a comment sheet specifying all deficiencies for correction which will be emailed to you the applicant/agent of record.
  - b) Corrections for any deficiencies must be submitted within 15 days of the scheduled meeting/hearing date. Corrections not approved or received for a scheduled Agenda item will be deferred to the next B.R.A.B. meeting/hearing date.
  - c) All applicants shall be made aware that incomplete applications or deficiencies not corrected in time as per these regulations, will not be included on the agenda, and are hereby rejected, and will be returned to the applicant.
  - d) Upon receipt of a Staff Recommendation report approving the project the balance of the applications with plans and documents, need to be submitted to the Building Department for distribution to the Board Members and Staff. The Building Dept. shall retain all originals for the records. At that time the applicant's request will be placed on the Agenda for approval by the B.R.A.B. Board Members.
4. After approval of the item by the Board, You will also need to retain a copy of the BRAB approved application package with the minutes for submission at the time of the permit application. Make sure to request a copy of the minutes on the 3rd Tuesday of the following month of your approval.
5. If a Variance: A Notice of Hearing for variance will be mailed no later than 10 days before the date of meeting, as per Town Code.
6. Variance have a two step process: The Building Advisory Board is a recommendation Board to the Town Council – The Town Council is the ultimate authority on Granting or Denial of Variance requests. The Town council will hear your requests for the Variance at the next hearing, it is at that Hearing that the Town Council will either approve or deny your requests. Someone needs to be present at the meeting. The Town Council meetings are held every 3rd Tuesday of every month.
7. After approval of the item by the Board, The Resolutions approving your variance will need to be prepared and you will be notified when they are ready to be picked up and get recorded with the Miami Dade County Clerk's recording office. You will need to forward us a Certified copy of recorded Resolutions and retain a copy for your records.
8. Required for permitting: A copy of the Certified copy of recorded Resolutions and BRAB approved application package along with the minutes.



**TOWN OF GOLDEN BEACH  
BUILDING REGULATION ADVISORY BOARD  
SCHEDULE OF FEES**

Appropriate fee shall be paid at time of application you will be charged for each item included in the plans. These fees are not refundable.

<u>Type of request</u>	<u>Fee</u>	<u>Qty</u>
1. New single-family residence- per submittal and resubmittal	\$700.00	X _____
2. Addition/Remodel of existing structure- per submittal and resubmittal	\$225.00	X _____
3. Accessory Building (Cabana, Pergola, or Gazebo) - per submittal and resubmittal	\$150.00	X _____
4. Pools, Spas and Water Features - per submittal and resubmittal	\$100.00	X _____
5. Fencing, site walls, driveways, pool decks - for each item per submittal and resubmittal	\$150.00	X _____
6. Seawalls and docks - for each item, per submittal and resubmittal	\$200.00	_____
7. Boat Lift- per submittal and resubmittal	\$100.00	_____
8. Landscape plan review is required for new construction, addition and remodeling projects (submit plans with site plan elevations separate from the building plan approval package).	\$300.00	X _____
9. Resubmissions, based on original fee paid	75.0%	_____
10. Zoning Variances and special exceptions, per variance or exception:		
a. First variance/ exception. ....	\$750.00	X _____
b. Per additional variance/exception, for the same initial variance (example: request for a dock, affecting two different codes	\$200.00	_____
c. When a variance is granted, the property owner, at his expense, shall have the resolution for the variance recorded in the public records of Miami-Dade county, and two (2) certified copies of the recorded resolution shall be submitted to the Town for inclusion into the property records		
d. If the Town Council grants a variance, a building permit must be secured within two years of the approval date or the variance will become null and void		
11. Request to the Board for verification of any section of the Zoning Code, For each Section to be verified	\$100.00	_____

**TOWN OF GOLDEN BEACH  
BUILDING REGULATION ADVISORY BOARD  
SCHEDULE OF FEES**

12. Application for the legalization of construction built without the approval of the B.R.A.B., when the Board should have approved such construction, will be assessed a fee equal to four (4) times the regular fee applicable to the matter.

13. Special Requests for a meeting, variance, or waiver of plat hearing:

- a. For matters that have been heard, but the process had not been completed, i.e., tabled subjects, or unfinished subjects to be continued, the applicant must notify the Building & Zoning Department in writing if they would like the item continued

If the notification is received by the Department before the deadline for the next B.R.A.B. meeting, there will be no charge for the continuance. If the notification is received after the deadline, and the applicant still wants the matter included in the agenda for the next meeting, there will be a special fee of

\$200.00 \_\_\_\_\_

- b. If the agenda has already been prepared and the applicant wants the matter to be heard, the request must be received in writing to be added to the agenda at the beginning of the meeting with the approval of the Building Official or Building & Zoning Director. There will be a special fee of

\$200.00 \_\_\_\_\_

- c. When a special meeting or hearing of the B.R.A.B. is requested by an applicant, for either a new matter or continuance of a subject already heard, there will be a special fee for a 2 hour time period of

\$500.00 \_\_\_\_\_

If the time limit is exceeded, an additional fee of ½ of the fee will be assessed for the second time period

\$250.00 \_\_\_\_\_

## **TOWN OF GOLDEN BEACH BUILDING REGULATORY ADVISORYBOARD APPLICATION and REVIEW PROCEDURE**

Thank you for applying to the Building Advisory Board for approval of your project. Below is a brief guideline on how the application review process works and what can be expected. The attached application form contains additional guidelines and information pertinent to your submittal. Please follow all directions contained within the application prior to submitting your package to our office:

### **Submittal**

Submit your completed application package to the Town by the required deadlines which are available on the Town's website at [www.goldenbeach.us](http://www.goldenbeach.us).

Upon receipt of your application and within the first week after you submit, the Town's zoning and landscape reviewers will perform their first review. Following their review you will receive reports for an approval or comments requesting additional information and/or needed corrections to your plans and/or your application.

### **Reports**

Two basic types of reports can be issued under a zoning and landscape review; the first report that may be issued will list code deficiencies, if any, as the zoning and landscape reviewer sees them in relationship to the Town's current Zoning Code, the report for zoning will be entitled "Planning and Zoning Comments". This process will continue each time updated information is received and until all issues have been addressed.

After all deficiencies have been addressed and the zoning and Landscape reviewers do not find any deficiencies then a second report will be issued entitled "Town of Golden Beach – Community Development Memorandum" this report is the clearance memorandum to allow the item to move forward and be placed on the Agenda for possible approval by the Board. You will receive two separate reports one from zoning and one from landscaping.

### **Deadlines - Agenda Placement**

A positive review prior to the meeting is required in order for your application to be placed on the Agenda. As with all applications sufficient time is needed by the Town's reviewers and staff for processing prior to the item moving forward for placement on the Agenda.

Your application will require a satisfactory review within the seven days prior to the scheduled meeting in order to be placed on the Agenda. If a satisfactory recommendation is not received within the time period specified, then the application will be tabled to the next Building Advisory Board meeting in the next month, pending approval of the application. Building Advisory Board meetings are scheduled for the Second Tuesday of each month pending quorum. All notifications will be sent via email on the progress of your application and the Board's ability to meet.

### **Special Note**

Simple applications might not receive comment sheets and will move directly to a "Town of Golden Beach – Community Development Memorandum" mentioned in the previous paragraph allowing the item to be placed on the Agenda to be heard by the Board.

### **Notice**

If submittals have been inactive for 90 days or more, they will automatically be placed on inactive status and new submittals will be required.

GREGORY M COGAN TRS  
FLORIDA LAND TRUST NO 1GB  
151 TREMONT ST STE 110 PMB 392  
BOSTON, MA 02111

NRE MIAMI CORP  
1925 BRICKELL AVE D205  
MIAMI, FL 33129

VICTORIA LESOV  
MATVAY LESOV  
3944 194 TRAIL  
GOLDEN BEACH, FL 33160

JAN A MARKS TRS  
307 OCEAN BOULEVARD TR  
1001 LIBERTY AVE STE 1150  
PITTSBURGH, PA 15222

COMMUNICATION MARKETING  
RESOURCES INC  
20281 E COUNTRY CLUB DR  
MIAMI, FL 33180-3010

NATACHA LEA HEYMAN  
DAVID BEN AIM  
274 OCEAN BLVD  
GOLDEN BEACH, FL 33160

RONALD N TUTOR TRS  
TUTOR MARITAL PROPERTY TR  
ALIA TUTOR TRS  
317 OCEAN BLVD  
GOLDEN BEACH, FL 33160

SHARON LIOR  
346 OCEAN BLVD  
GOLDEN BEACH, FL 33160-2212

JACOB KIFERBAUM  
SANDRA KIFERBAUM  
266 OCEAN DR  
GOLDEN BEACH, FL 33160

BRUCE WEBER & NAN BUSH  
325 OCEAN BLVD  
GOLDEN BEACH, FL 33160-2211

MICHAEL ABRAMOWITZ  
DEBBIE ABRAMOWITZ  
340 OCEAN BLVD  
GOLDEN BEACH, FL 33160

YD NYACK INC  
11 ORCHARD ST  
NYACK, NY 10960

EDITH NEWMAN  
355 OCEAN BLVD  
GOLDEN BEACH, FL 33160-2211

BRUCE WEBER  
NAN BUSH  
325 OCEAN BLVD  
GOLDEN BEACH, FL 33160

CENTRAL PARK TOWER CORP  
C/O JENNIFER LEVIN ESQ  
20295 NE 29 PL STE 200  
AVENTURA, FL 33180

BRUCE WEBER & NAN BUSH  
325 OCEAN BLVD  
GOLDEN BEACH, FL 33160-2211

DIDIER ZERBIB  
250 OCEAN BLVD  
GOLDEN BEACH, FL 33160

OCEAN BLVD GOLDEN LLC  
251 LITTLE FALLS DR  
WILMINGTON, DE 19808

SK INVEST GROUP LLC  
17100 N BAY RD 1612  
SUNNY ISLES BEACH, FL 33160

AIDA E MARTINEZ (TRUST)  
HUGO L & AIDA E MARTINEZ TRS  
380 OCEAN BLVD  
GOLDEN BEACH, FL 33160-2212

LUNA ROCK INVESTMENTS LLC  
3267 NE 212 ST  
AVENTURA, FL 33180

BRADLEY I MEIER  
229 OCEAN BLVD  
GOLDEN BEACH, FL 33160

LINDA G BROWN TRS  
LIINDA GAIL BROWN LIVING TRUS  
370 OCEAN BLVD  
GOLDEN BEACH, FL 33160

ANIL SETHI  
MEENU SETHI  
296 OCEAN BLVD  
GOLDEN BEACH, FL 33160

PHILIP YANG & W MARIA  
1435 PHEASANT RUN CIRCLE  
YARDLEY, PA 19067

JOSE RAFAEL BADELL  
MARIA GRAU  
364 OCEAN BLVD  
GOLDEN BEACH, FL 33160

MATTHEW ALLEN  
288 OCEAN BLVD  
GOLDEN BEACH, FL 33160

255 OB LLC  
18200 NE 19 AVE 101  
NORTH MIAMI BEACH, FL 33162

SAMUEL OHEV ZION  
MICHELLE BITTMAN  
263 OCEAN BLVD  
GOLDEN BEACH, FL 33160

BENJAMIN SHIRAZIPOUR  
ANNA SHIRAZIPOUR  
275 OCEAN BLVD  
GOLDEN BEACH, FL 33160

JEREMY ALTERS TRS  
JEREMY ALTERS REV TRUST AGREEMENT  
JEREMY ALTERS  
277 OCEAN BLVD  
GOLDEN BEACH, FL 33160



**TOWN OF GOLDEN BEACH  
100 OCEAN BOULEVARD  
Golden Beach, Fl. 33160**

**SUMMARY MINUTES (DRAFT)  
BUILDING REGULATION ADVISORY BOARD  
May 14, 2024, at 6pm**

**Zoom Meeting ID: 892 9110 8015 Passcode: 752288 For Dial in only call: 929-205-6099.**

- A. CALL MEETING TO ORDER:** 6:10pm
- B. BOARD ATTENDANCE:** Zvi Shiff, Isaac Murciano, Michael Klinger, and Stephanie Halfen
- C. STAFF ATTENDANCE:** Linda Epperson-Asst Town Manager, Christopher Gratz-Zoning Reviewer/Planner, Lissett Rovira-Building Dept. Manager,
- D. APPROVAL OF MINUTES:** April 9, 2024

Motion to approve the minutes by Zvi Shiff, Seconded by Michael Klinger  
All were in favor – no one opposed  
Motion passed 4 – 0

**E. REQUEST FOR ADDITIONS, DEFERRALS, DELETIONS & WITHDRAWALS:**

1. 310 South Parkway LLC-  
310 South Parkway  
Golden Beach, FL 33160

Property Address: 310 South Parkway, Golden Beach, FL, 33160  
Folio No: 19-1235-005-0590  
Legal Description: Lot 31 & 32, Block G, GB Sect E, PB 8-122

Installation dock replacement & seawall repair.

Motion to delete this item from the agenda was made by Zvi Shiff, Seconded by Michael Klinger

All were in favor – no one opposed  
Motion passed 4 – 0

2. David Pratt Esq Trs  
The Cypress House Trust  
422 Golden Beach Drive  
Golden Beach, Fl 33160

Property Address: 422 Golden Beach Drive, Golden Beach, FL, 33160  
Folio No: 19-1235-005-0010  
Legal Description: Lot 45 & N1/2 of Lot 46 Blk F Less Beg NW COR Lot 1

Installation of a new floating dock.

3. Caren Sredni Trs  
540 North Parkway  
Golden Beach, FL 33160

Property Address: 540 North Parkway, Golden Beach, FL, 33160  
Folio No: 19-1235-006-0860  
Legal Description: Lot 10-11, Block M, GB Sect F, PB 10-11

Installation dock replacement & seawall repair.

4. Gregory M Cogan Trs  
Florida Land Trust No 1gb  
151 Tremont St Ste 110  
Boston, Ma 02111

Property Address: 291, 287, and 299 Ocean Boulevard, Golden Beach, FL, 33160  
(Through Unity of Title)  
Folio No: 19-1235-003-0310, 003-0290, 002-0500  
Legal Description: Lot 20, N ½ of Lot 40, All Lot 41, 42, 43, and 44, Blk A & B, GB  
Sec C PB 9-52

Construction of a new single-family residence and landscape design approval.

5. Manuel Grosskopf  
Mariana Grosskopf Levi  
284 South Island Drive  
Golden Beach, FL. 33160

Property Address: 284 South Island Drive, Golden Beach, FL. 33160  
Folio No.: 19-1235-004-0840  
Legal Description: Lot 51 to 53, Blk J, GB Sect D, PB 10 – 10

Construction of a new sing-family residence and landscape design approval

6. Jonathan A. Kessler  
Cathie L. Pass  
633 Golden Beach Drive  
Golden Beach, FL. 33160

Property Address: 633 Golden Beach Drive, Golden Beach, FL. 33160  
Folio No.: 19-1235-006-1020  
Legal Description: Lots 32 & 33, & S 7.5' of lot 31, Blk 1, GB Sect F, PB 10-11

Construction of new single-family residence and landscape design approval

7. Avi Benayoun  
Leigh Sherman  
615 Golden Beach Drive  
Golden Beach, FL. 33160

Property Address: 615 Golden Beach Drive, Golden Beach, FL. 33160  
Folio No.: 19-1235-006-0160  
Legal Description: Lots 36 & 37, Blk 1, GB Sect F, PB 10-11

8. Blaise Matuidi and Isabelle Helene Marie Matuidi  
560 Ocean Blvd.,  
Golden Beach, FL. 33160

Property Address: 560 Ocean Blvd, Golden Beach, FL. 33160  
Folio No.: 19-1235-001-0251  
Legal Description: Lots 6 through 8, Blk 2, GB Section A, PB 9-52

Construction of an accessory structure.

A motion to defer items 2 – 8 was made by Zvi Shiff, Seconded by Michael Klinger.  
All were in favor – no one opposed.  
Motion passed 4 – 0

**F. VARIANCE REQUEST(S):**

9. Gregory M Cogan Trs  
Florida Land Trust No 1gb  
151 Tremont St Ste 110  
Boston, Ma 02111

Christopher Gratz summarized his report into the record.  
Mickey Marrero - Bercow Radell Fernandez Larkin + Tapanes spoke on behalf of the applicant.

Property Address: 291, 287, and 299 Ocean Boulevard, Golden Beach, FL, 33160  
(Through Unity of Title)  
Folio No: 19-1235-003-0310, 003-0290, 002-0500  
Legal Description: Lot 20, N ½ of Lot 40, All Lot 41, 42, 43, and 44, Blk A & B, GB Sec C PB 9-52

Construction of a new single-family residence and landscape design approval.

Relief from Town Code Section 66-102(a) which requires the finished grade of any lot not to exceed and elevation of six feet NGVD, except for lots abutting Ocean Boulevard where the minimum elevation shall be 12 inches above the crown of the road, and the maximum elevation shall not exceed an elevation of 11 feet NGVD.

Request is to allow the finished grade of the lot to be at 13' NGVD.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria

A motion to recommend approval was made by Zvi Shiff, Seconded by Michael Klinger  
On roll call: Zvi Shiff-Aye, Isaac Murciano-Aye, Michael Klinger-Aye, and Stephanie Halfen-Aye  
Motion passed 4 – 0

**G. OLD BUSINESS:**

10. 101 Ocean Blvd LLC  
101 Ocean Blvd  
Golden Beach, Fl 33160

Stephanie Halfen recused herself from voting on this item.



Christopher Gratz summarized his report into the record  
Stephanie Halfen, Architect for the project spoke on behalf of the applicant.

Property Address: 101 Ocean Boulevard, Golden Beach, FL, 33160  
Folio No: 19-1235-003-0010  
Legal Description: Lot 1 Less Beg NW COR Lot 1

Construction of a new single-family residence, covered terrace, pool, cabana, and roof top terrace and landscape design approval.

A motion was made by Zvi Shiff to approve the project, Seconded by Michael Klinger  
On roll call Zvi Shiff-Aye, Isaac Murciano-Aye, and Michael Klinger-Aye  
Motion passed 3 – 0

11. Mark Feldman and Colette B. Feldman  
138 South Island Drive  
Golden Beach, FL. 33160

Christopher Gratz summarized his report into the record.  
Bill Thomas – Approved Permit Services, spoke on behalf of the applicant.

Property Address: 138 South Island Drive, Golden Beach, FL 33160  
Folio No: 19-1235-004-0540  
Legal Description: Lot 12, Blk J, GB Sect D, PB 10-10

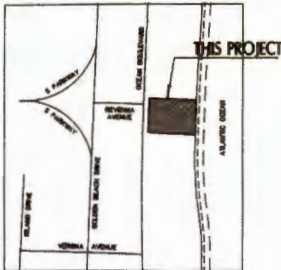
Installation of a new seawall and dock.

A motion was made by Zvi Shiff to approve this item, Seconded by Michael Klinger  
On roll call: Zvi Shiff-Aye, Isaac Murciano-Aye, Michael Klinger-Aye, and Stephanie Halfen-Aye  
Motion passed 4 – 0

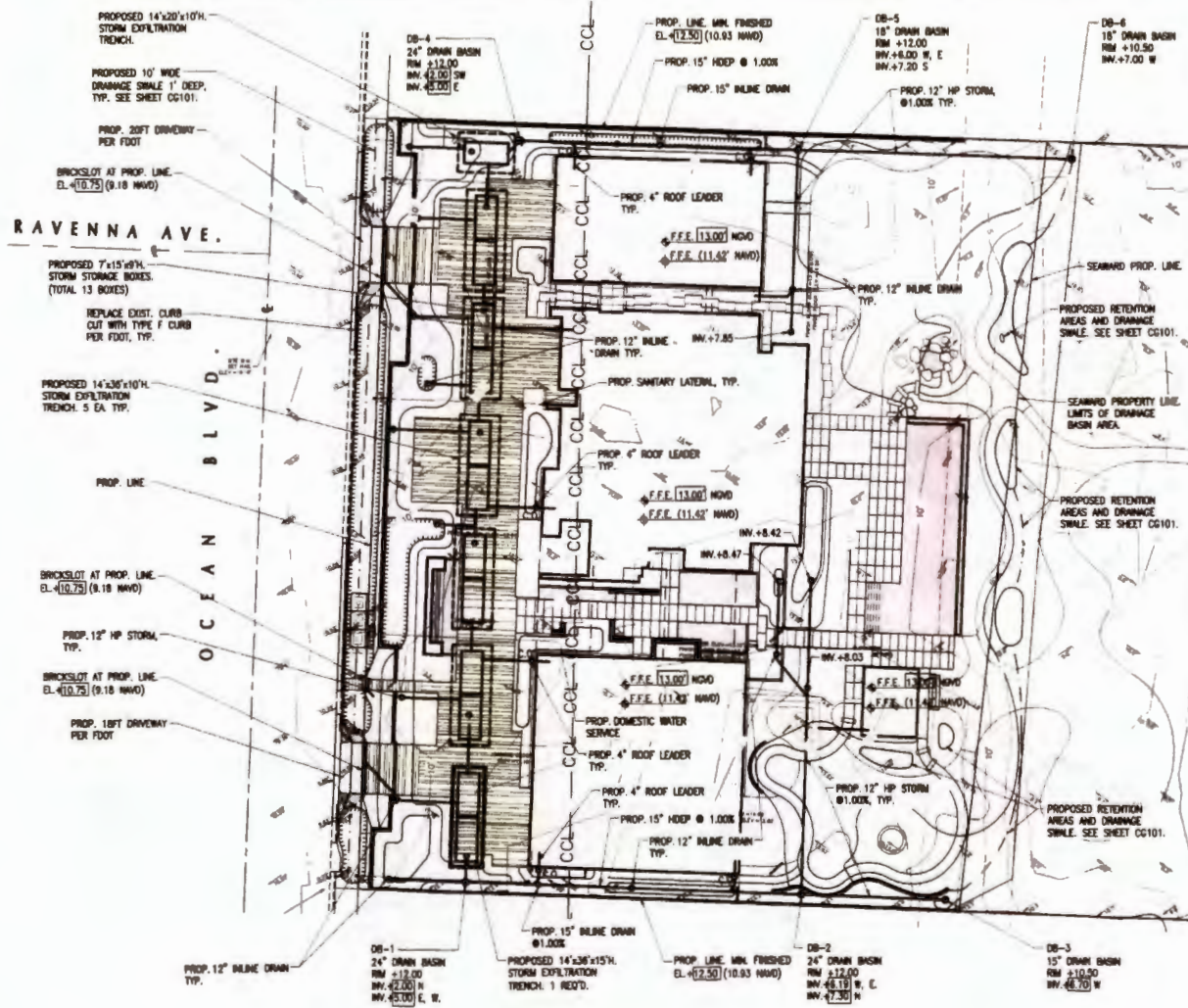
## **H. NEW BUSINESS**

## **I. ADJOURNMENT.**

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND FOR THAT SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHER INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES I



**LOCATION MAP**  
NO SCALE



LEGEND	
GRADING ELEVATIONS	
EXISTING	PROPOSED
	GRADES NWD
N/A	GRADES NWD
N/A	STORM INFILTRATION SYSTEM
N/A	CATCH BASIN
N/A	DRAIN BASIN AND INLINE DRAIN



SCALE: 1" = 20'-0"



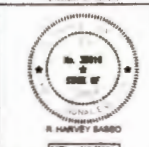
**PROPOSED DRAINAGE SITE PLAN**  
SCALE: 1" = 20'

OCEAN RESIDENCE  
287, 291, 299 Ocean Blvd.  
Golden Beach, FL 33160



464 South Dale Highway  
Coral Gables, Florida 33146  
Tel: 305-861-2650  
Fax: 305-861-1914  
www.CoastalSystemsFL.com  
State of Florida ES #7087  
Coastal Environmental,  
Civil Engineering and Management

04/18/24	TOWN SUBMITTAL
03/28/24	TOWN SUBMITTAL
01/22/24	TOWN SUBMITTAL
11/01/23	JOB ID SET
FILE	APP
PROJECT NO:	314708
DATUM:	AS SHOWN
DRAWN BY:	GD/PL
CHECKED BY:	AW/GB



THIS PLAN HAS BEEN ORIGINALLY DRAWN AND SEALED BY HARVEY BABCO ON THE DATE INDICATED TO THE SEAL. PROPER COPIES OF THIS DOCUMENT ARE NOT CONSIDERED DRAWN AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

**DRAINAGE PLAN**

CD101

1 OF 3 SHEETS

OCEAN RESIDENCE  
287, 291, 299 Ocean Blvd.  
Calden Beach, FL 33160

**COASTALSYSTEMS**  
464 South Dixie Highway  
Coral Gables, Florida 33146  
Tel: 305-861-3625  
Fax: 305-861-1314  
www.CoastalSystem.com  
State of Florida EB #7087  
Civil, Surveying,  
(see Engineering and Measurement)

04/18/24	TOMM SUBMITAL
02/28/24	TOMM SUBMITAL
01/22/24	TOMM SUBMITAL
11/01/23	306 CD SET
DATE	BY
PROJECT NO.	314708
DRAWN BY	AS SPOHR
CHECKED BY	JMO/GB

PROPOSED GRADING SITE PLAN  
SCALE: 1"=20'

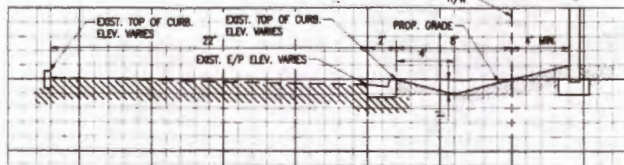
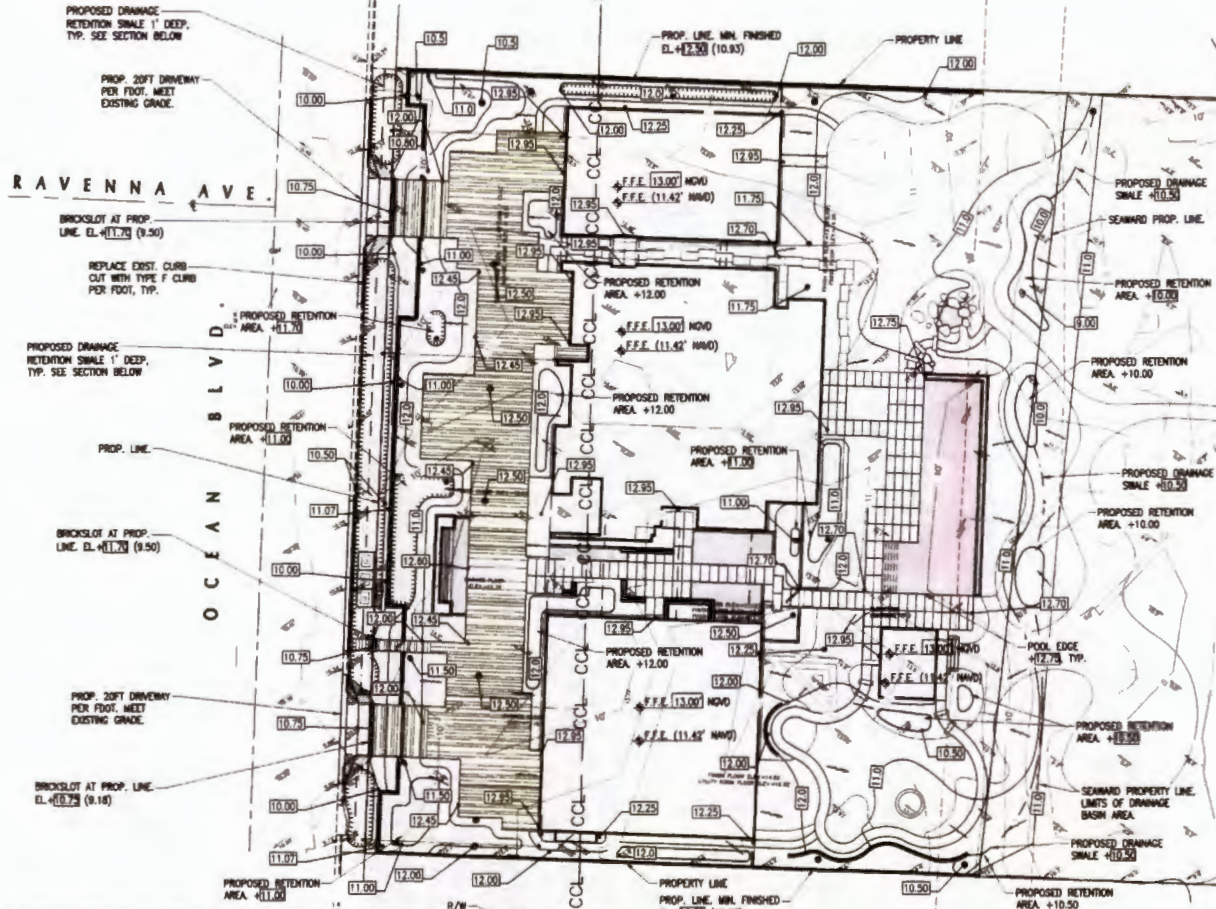
**R HARVEY BARBO**  
DATE: 4/18/2024

THIS ITEM HAS BEEN ORIGINALLY SIGNED AND SEALED BY RONALD HARVEY BARBO ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

**GRADING PLAN**  
CG101  
1 OF 1 SHEETS



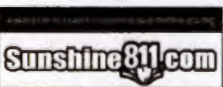
**LOCATION MAP**  
NO SCALE



**TYPICAL RETENTION SWALE**  
SCALE: 1"=4'

**LEGEND**

GRADING ELEVATIONS	
EXISTING	PROPOSED
10.00	12.95
N/A	GRADES HWD
N/A	DIRECTION OF RUNOFF



SCALE: 1" = 4'-0"  
SCALE: 1" = 20'-0"



**[STRANG]**

2802 SW 87TH TERRACE  
SUITE 101 MIAMI, FL 33153  
PH: 305-273-4888  
ARCHITECT LICENSE NO. A4801123  
P.L.C. STRANG DESIGN

**PROJECT LOCATION:**  
280 OCEAN BLVD  
GOLDEN BEACH, FL 33180

**PROJECT CLIENTS / OWNER:**  
PHILIP T & SUSAN MOON

**ARCHITECT:**  
STRANG DESIGN, LLC  
P.L.C. LICENSE NO. A4801123  
2802 SW 87TH TERRACE  
SUITE 101 MIAMI, FL 33153  
A/C/L LICENSE # A1718870

**CIVIL ENGINEER:**  
COASTAL SYSTEMS  
INTERNATIONAL, INC.  
484 S GIDE HWY  
CORAL GABLES, FL  
PH: 305-561-3868

**STRUCTURAL ENGINEER:**  
TBD

**MEP ENGINEER:**  
TBD

**LANDSCAPE ARCHITECT:**  
RAYMOND JUNGLES INC  
LICENSE # LA-1866  
2804 AVIATION AVE  
MIAMI, FL 33133  
PH: 305-588-6777

**GENERAL CONTRACTOR:**  
TBD

**PROFESSIONAL SEAL:**

**LANDSCAPE ARCHITECT:**  
RAYMOND JUNGLES INC  
LICENSE # LA-1866  
MIAMI, FL 33133

**OCEAN RESIDENCE**

Issue Description  
**DESIGN DEVELOPMENT SET**

NO.	DATE	DESCRIPTION

**COMPENSATION NOTICE:**  
The drawing and information contained  
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Issue Date: **06/28/2024**

**SURVEY AND AERIAL UNDERLAY**

**LOT 10**



**[STRANG]**

288 SW 38TH TERRACE  
SUITE 201, MIAMI, FL 33133  
PH: 305.273.5055  
ARCHITECT LICENSE NO. 04100070  
WWW.STRANGDESIGN.COM

**PROJECT LOCATION:**  
288 OCEAN BLVD,  
GOLDEN BEACH, FL 33109

**PROJECT CLIENTS / OWNERS:**  
PHILIP T & SUSAN RAJOR

**ARCHITECT:**  
STRANG DESIGN LLC  
FIRM LICENSE NUMBER 1123  
288 SW 38TH TERRACE  
SUITE 201, MIAMI, FL 33133  
ARCHITECTURE & ARTISTRY

**CIVIL ENGINEER:**  
COASTAL SYSTEMS  
INTERNATIONAL, INC.  
JIM S. ESSE, PE  
CORAL GABLES, FL  
PH: 305-461-0385

**STRUCTURAL ENGINEER:**  
TBD

**MEP ENGINEER:**  
TBD

**LANDSCAPE ARCHITECT:**  
PINNACLED LANDSCAPE, INC.  
LICENSE #FLA-0288  
JIM ANDERSON, L.A.C.  
MIAMI, FL 33133  
PH: 305-658-8777

**ORIGINAL CONTRACTOR:**  
TBD

**PROFESSIONAL SEAL:**

**LANDSCAPE ARCHITECT:**  
RAYMOND L. APPELIS  
LICENSE NO. LA-00000000

**OCEAN RESIDENCE**

Issue Description  
DESIGN DEVELOPMENT SET

Revision Schedule

#	DATE	DESCRIPTION

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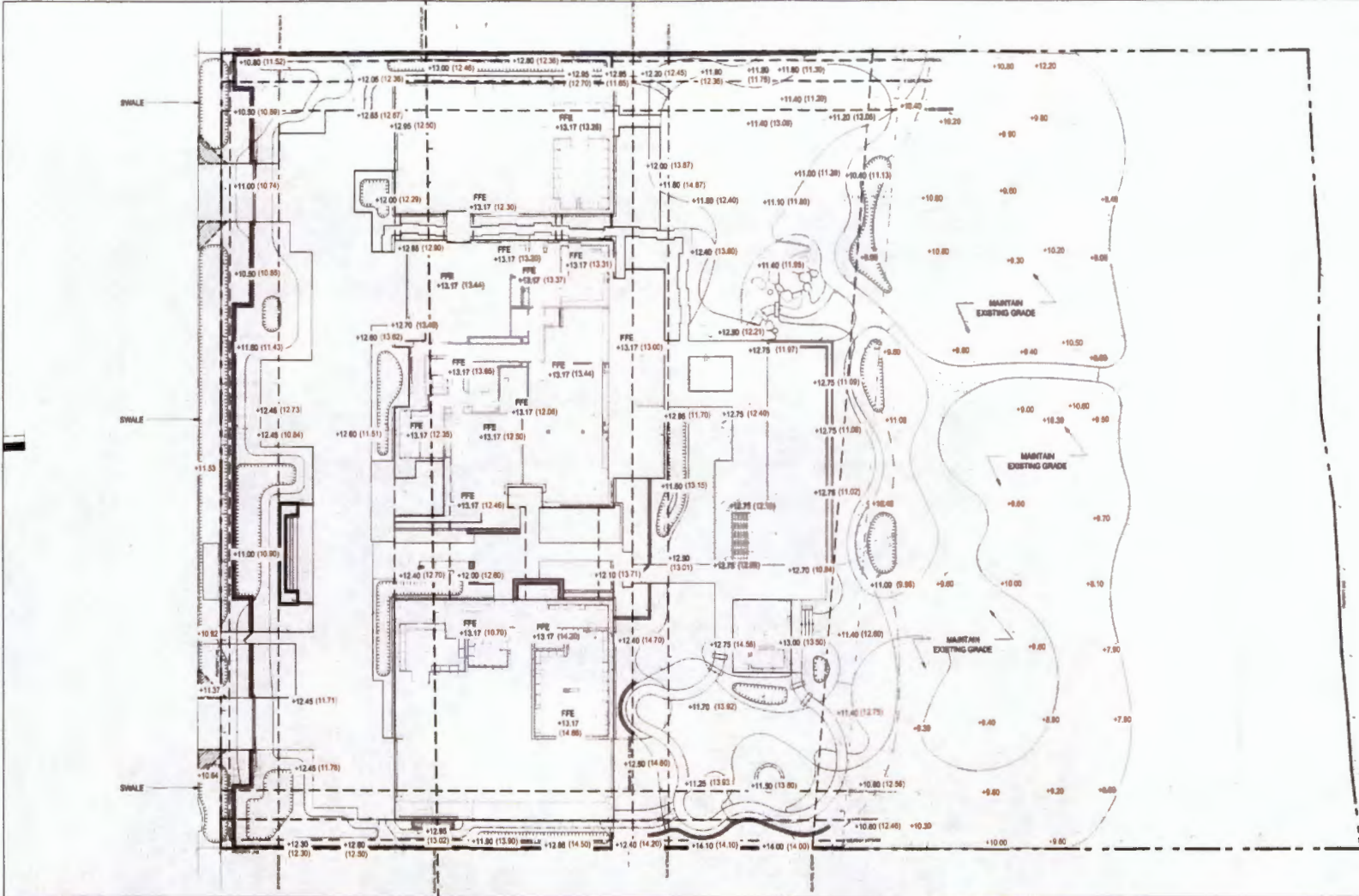
Issue Date: 04/10/2018

Issue Title:

**SPOT ELEVATION COMPARISON**

Issue Number:

**L601**



**LEGEND**



**STRANG**

200 SW 38TH TERRACE  
SUITE 301, MIAMI, FL 33133  
PH: 305-273-4580  
ARCHITECT LICENSE NO. AR 10919  
WWW.STRANGDESIGN.COM

**PROJECT LOCATION:**  
200 OCEAN BLVD  
GOLDEN BEACH, FL 33180

**PROJECT CLIENTS / OWNERS:**  
PHILIP T. & SUSAN RADON

**ARCHITECT:**  
STRANG DESIGN, LLC  
FIRM LICENSE NUMBER: 123  
200 SW 38TH TERRACE  
SUITE 301, MIAMI, FL 33133  
AOR LICENSE # AR108570

**CIVIL ENGINEER:**  
CONSULT ENGINEERING  
INTERNATIONAL, INC.  
404 S. DIXIE HWY  
CORAL GABLES, FL  
PH: 305-561-5881

**STRUCTURAL ENGINEER:**  
TBD

**MEP ENGINEER:**  
TBD

**LANDSCAPE ARCHITECT:**  
RAJAGOPAL JUNGLES INC.  
LICENSED PROFESSIONAL  
200A WATSON AVE  
MIAMI, FL 33135  
PH: 305-856-6777

**ORIGINAL CONTRACTOR:**  
TBD

**PROFESSIONAL SEAL(S):**

**LANDSCAPE ARCHITECT:**  
RAJAGOPAL JUNGLES INC.  
LICENSE NO. LA00000000

**OCEAN RESIDENCE**

Issue Description:  
HARDSCAPE DEVELOPMENT SET

Revision Schedule

#	DATE	DESCRIPTION

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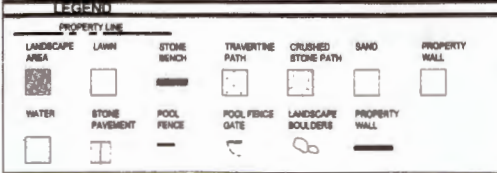
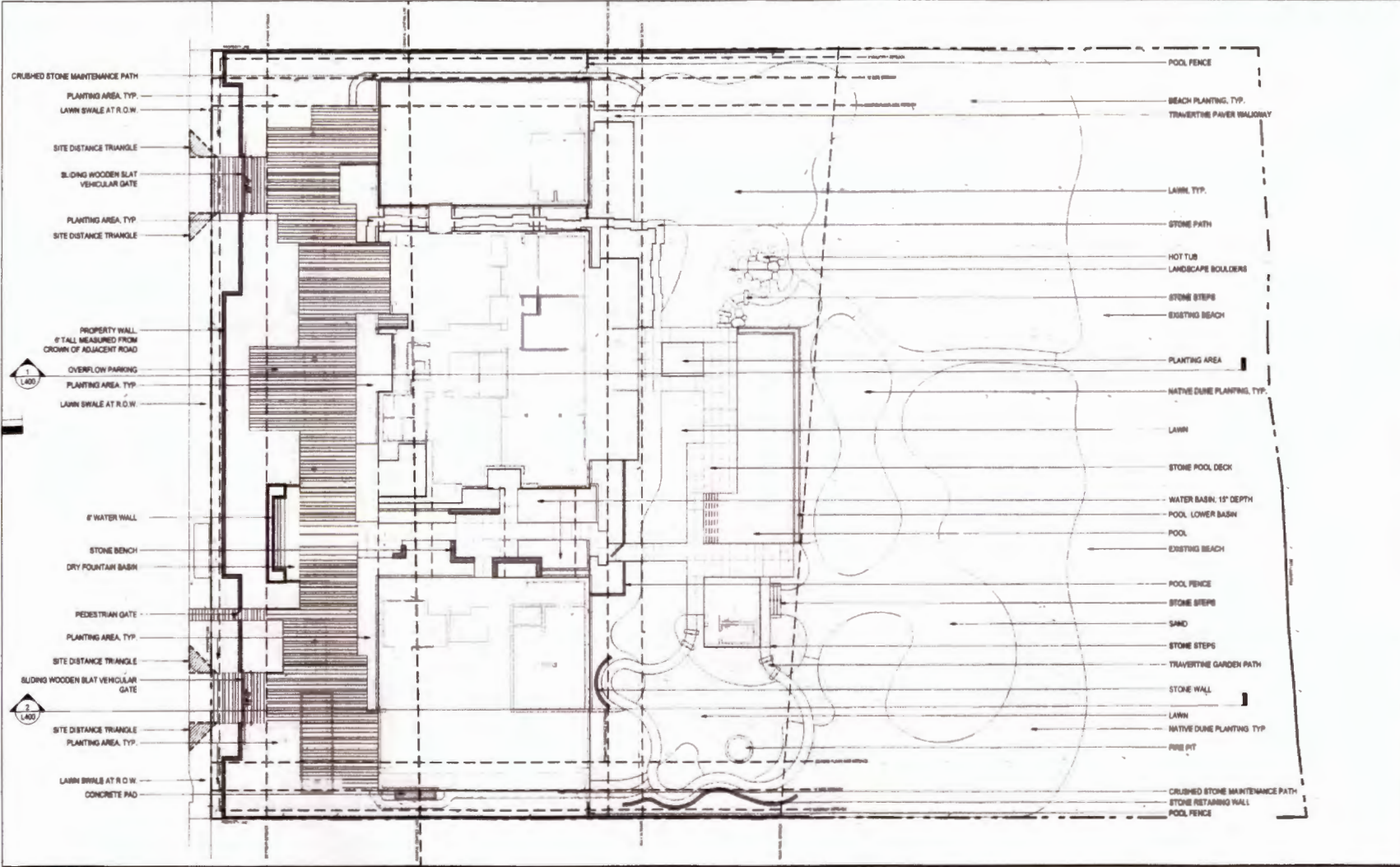
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Issue Date: 09/19/2014

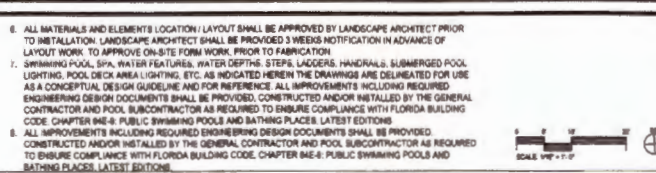
**HARDSCAPE PLAN**

SCALE: 1/8" = 1'-0"

**L200**



- GENERAL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR CALCULATING / VERIFYING ALL QUANTITIES.
  - GENERAL CONTRACTOR SHALL SUBMIT, OBTAIN AND KEEP RECORDS OF ALL PERMITTING REQUIRED BY LOCAL CODES.
  - PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL UTILITIES USING "SUNSHINE 811" UTILITIES SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
  - ALL MATERIALS ARE TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT.
  - ALL ELEMENTS SHALL BE MOCK-UP FOR CLIENT AND LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL. CONTRACTOR TO REWORK MOCK-UP AS NECESSARY FOR APPROVAL. MAINTAIN APPROVED MOCK-UP FOR COMPARISON OF FINISHED WORK.
  - ALL MATERIALS AND ELEMENTS LOCATION / LAYOUT SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT SHALL BE PROVIDED 3 WEEKS NOTIFICATION IN ADVANCE OF LAYOUT WORK. TO APPROVE ON-SITE FORM WORK. PRIOR TO FABRICATION.
  - SWIMMING POOL, SPA, WATER FEATURES, WATER DEPTHS, STEPS, LADDERS, HANDRAILS, SUBMERGED POOL LIGHTING, POOL DECK AREA LIGHTING, ETC. AS INDICATED HEREIN THE DRAWINGS ARE DELINEATED FOR USE AS A CONCEPTUAL DESIGN GUIDELINE AND FOR REFERENCE. ALL IMPROVEMENTS INCLUDING REQUIRED ENGINEERING DESIGN DOCUMENTS SHALL BE PROVIDED, CONSTRUCTED AND/OR INSTALLED BY THE GENERAL CONTRACTOR AND POOL SUBCONTRACTOR AS REQUIRED TO ENSURE COMPLIANCE WITH FLORIDA BUILDING CODE, CHAPTER 648, PUBLIC SWIMMING POOLS AND BATHING PLACES, LATEST EDITIONS.
  - ALL IMPROVEMENTS INCLUDING REQUIRED ENGINEERING DESIGN DOCUMENTS SHALL BE PROVIDED, CONSTRUCTED AND/OR INSTALLED BY THE GENERAL CONTRACTOR AND POOL SUBCONTRACTOR AS REQUIRED TO ENSURE COMPLIANCE WITH FLORIDA BUILDING CODE, CHAPTER 648-2, PUBLIC SWIMMING POOLS AND BATHING PLACES, LATEST EDITIONS.



LOT AREA: 104,579 SF  
PERVIOUS PLANTING AREA: 10,147 SF  
PERVIOUS LAWN AREA: 8,570 SF  
PERVIOUS GRAVEL WALKWAY: 570 SF  
PERVIOUS SAND SURFACE: 4,480 SF  
TOTAL PERVIOUS AREA: 40,825 SF  
PERCENTAGE OF PERVIOUS AREA: 47.84%

**STRANG**

3890 SW 38TH TERRACE  
SUITE 301, MIAMI, FL 33153  
PH: 305-275-1800  
ARCHITECT LICENSE NO. AR 000753  
WWW.STRANGDESIGN.COM

**PROJECT LOCATION:**  
TBD  
289 OCEAN BLVD  
GOLDEN BEACH, FL 33408

**PROJECT CLIENTS / DESIGNS:**  
PHILLIP T. & SUSAN RADCOX

**ARCHITECT:**  
STRANG DESIGN, LLC  
FIRM LICENSE NUMBER: 0011133  
2890 SW 38TH TERRACE  
SUITE 301, MIAMI, FL 33153  
HON. LICENSE # 014156570

**CIVIL ENGINEER:**  
CONATAL S+STANGE  
INTERNATIONAL, INC.  
ONE S. 9500 HWY.  
CORAL GABLES, FL  
PH: 305-461-3888

**STRUCTURAL ENGINEER:**  
TBD

**MEP ENGINEER:**  
TBD

**LANDSCAPE ARCHITECT:**  
RACHAEO ANGELES, INC.  
LICENSE #PLA-0208  
3988 AVAILON AVE  
MIAMI, FL 33133  
PH: 708-688-8777  
**GENERAL CONTRACTOR:**  
TBD

**PROFESSIONAL SEALS:**

**LANDSCAPE ARCHITECT:**  
RAYMOND S. AMBLES  
LICENSE #PLA-0208  
3988 AVAILON AVE  
MIAMI, FL 33133  
PH: 708-688-8777  
**GENERAL CONTRACTOR:**  
TBD

**OCEAN RESIDENCE**

Name: OceanResidence  
Address: OceanResidence

#	DATE	DESCRIPTION

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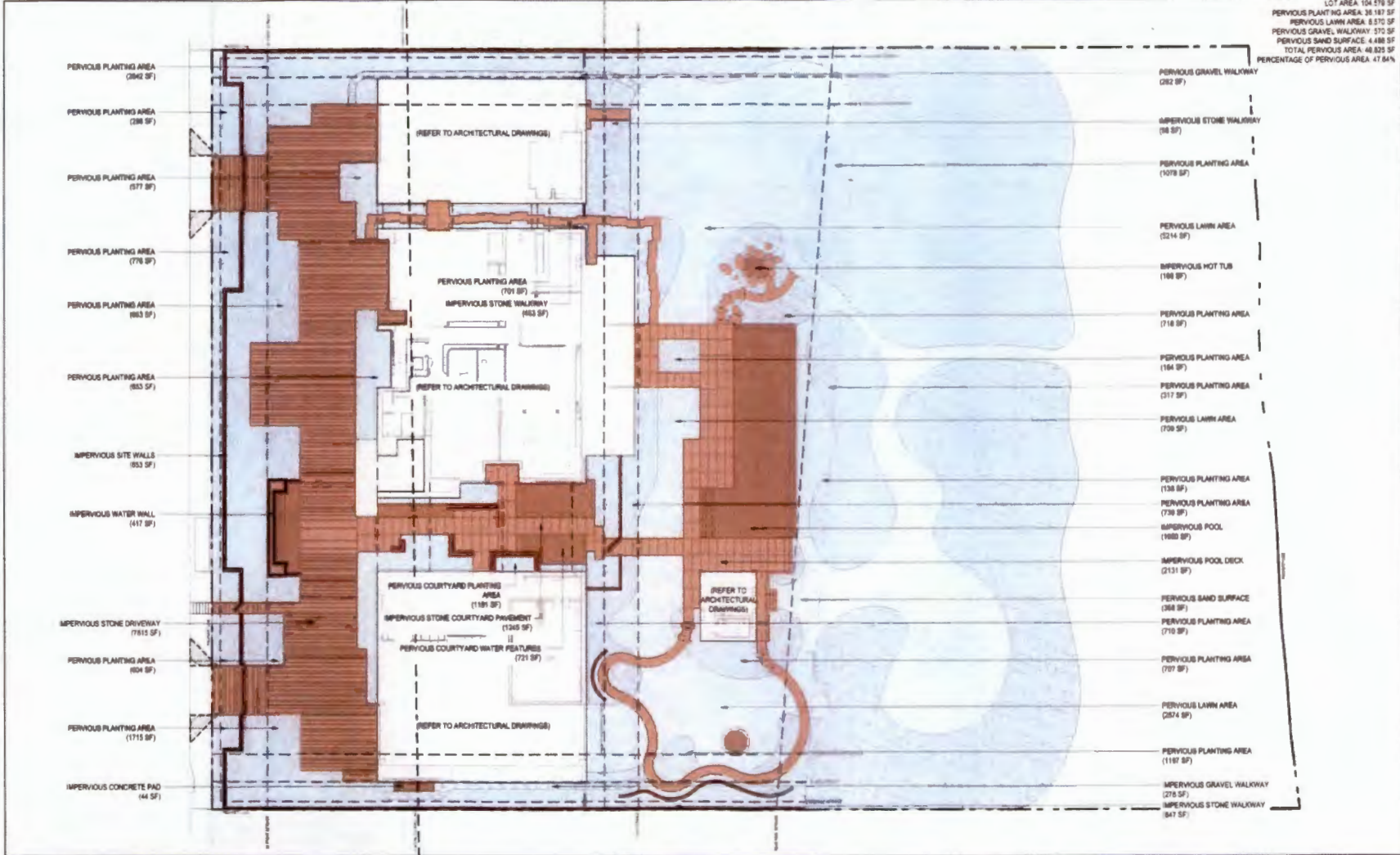
Issue Date	BY/ISSUED

**PERVIOUS SURFACE PLAN**

DATE: 11/20/23

SCALE: 1/8" = 1'-0"

**L201**



**LEGEND**

PROPERTY LINE  
PERVIOUS AREA  
IMPERVIOUS AREA



SCALE: 1/8" = 1'-0"

**[STRANG]**

285 SW 28TH TERRACE  
SUITE 201, LAGUNA FL, 32133  
PH: 386-373-4890  
ARCHITECT LICENSE NO. 44811  
WWW.STRANGDESIGN.COM

**PROJECT LOCATION:**  
285 OCEAN BLVD,  
GOLDEN BEACH, FL 32150

**PROJECT CLIENTS / OWNERS:**  
PHILIP T. & SUSAN RAGON

**ARCHITECT:**  
STRANG DESIGN, LLC  
FIRM LICENSE: 06A20011123  
285 SW 28TH TERRACE  
SUITE 201, LAGUNA, FL 32133  
ARCH LICENSE # JH100870

**CIVIL ENGINEER:**  
COASTAL SYSTEMS  
INTERNATIONAL, INC.  
484 S GULF HWY  
CORAL GABLES, FL  
PH: 305-451-0385

**ENVIRONMENTAL ENGINEER:**  
TSD

**GEO ENGINEER:**  
TSD

**LANDSCAPE ARCHITECT:**  
RAYMOND J. HORN, L.A.  
LICENSE NO. LA20000139  
3804 ANASTASIA AVE.  
MIAMI, FL 33133  
PH: 305-855-8771

**SENIOR CONSULTANT:**  
TSD

**PROFESSIONAL SEALS:**

**LANDSCAPE ARCHITECT:**  
RAYMOND J. HORN, L.A.  
LICENSE NO. LA20000139

**OCEAN RESIDENCE**

Site Developer:  
REIDEN RFD, CURRENT SET

NO.	DATE	DESCRIPTION

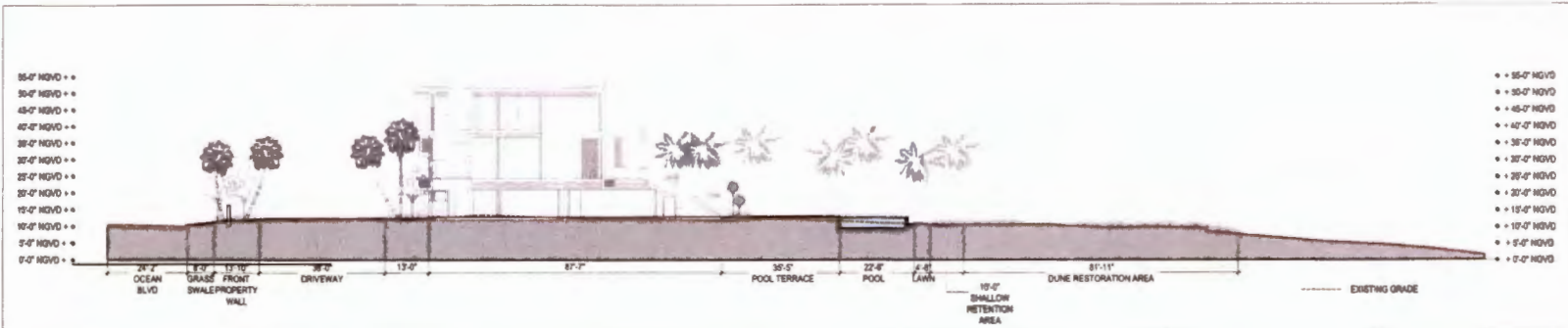
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Issue Date: 08/20/2019  
Issue By: [Signature]

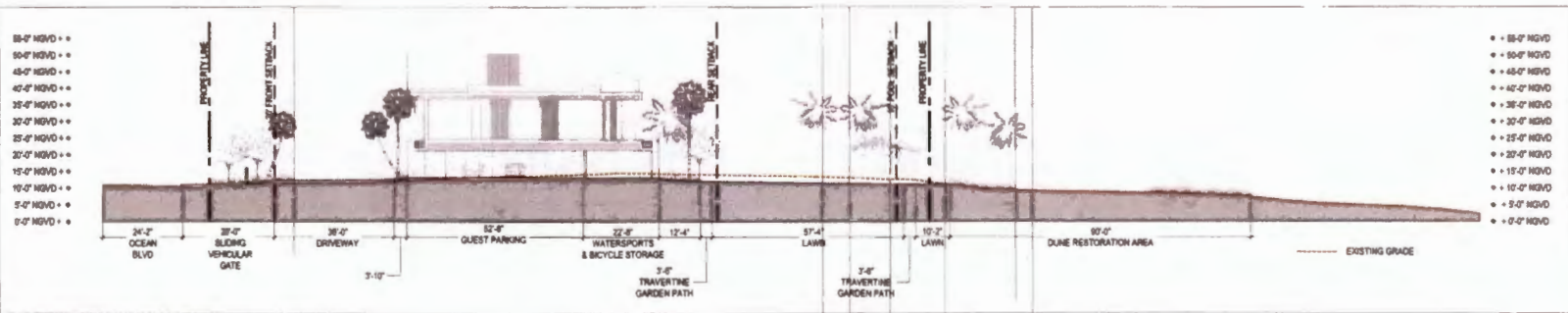
**SITE SECTIONS**

Issue Date: 08/20/2019

**L400**



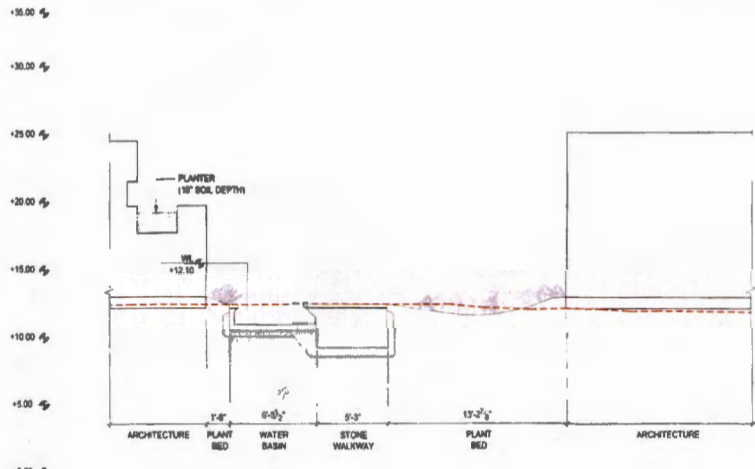
1 SITE SECTION WEST-EAST-MIDDLE  
Scale: 1/16" = 1'-0"



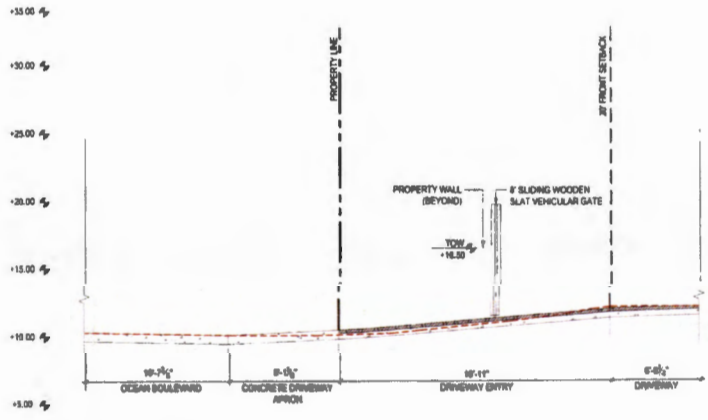
2 SITE SECTION WEST-EAST-SOUTHERN  
Scale: 1/16" = 1'-0"



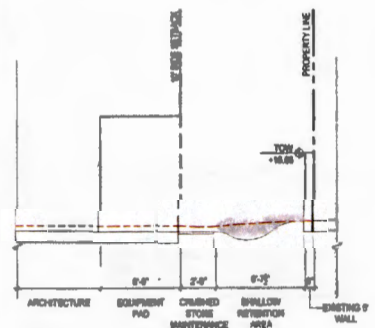




**1** COURTYARD SECTION  
Scale: 1/4" = 1'-0"



**2** NORTH DRIVEWAY SECTION  
Scale: 1/4" = 1'-0"



**3** SIDE YARD SECTION  
Scale: 1/4" = 1'-0"

**STRANG**

7800 SW 87TH TERRACE  
SUITE 301 MIAMI, FL 33153  
PH: 305-375-4990  
ARCHITECT LICENSE NO. AR1100970  
WWW.STRANGDESIGN.COM

**PROJECT LOCATION**  
208 OCEAN BLVD  
OCEAN BEACH, FL 32169

**PROJECT CLIENTS / OWNERS**  
PHILLIP T. & SUSAN RADON

**ARCHITECT**  
STRANG DESIGN, LLC  
FIRM LICENSE NUMBER: 113  
2828 SW 87TH TERRACE  
SUITE 301 MIAMI, FL 33153  
ARCHITECT LICENSE # AR1100970

**CIVIL ENGINEER**  
COASTAL SYSTEMS  
INTERNATIONAL, INC.  
JIM & ODEE WATY  
CORAL GABLES, FL  
PH: 305-661-3838

**STRUCTURAL ENGINEER**  
TBD

**MEP ENGINEER**  
TBD

**LANDSCAPE ARCHITECT**  
RAYMOND JUNGLES INC  
LICENSE NUMBER: 1000  
3826 AVENUE AVE.  
MIAMI, FL 33133  
PH: 305-666-8777  
**GENERAL CONTRACTOR**  
TBD

**PROFESSIONAL SCALE:**

**LANDSCAPE ARCHITECT**  
RAYMOND JUNGLES  
LICENSE NO. 10000

**OCEAN RESIDENCE**

Issue Description:  
DESIGN DEVELOPMENT SET

Revision Schedule

#	DATE	DESCRIPTION

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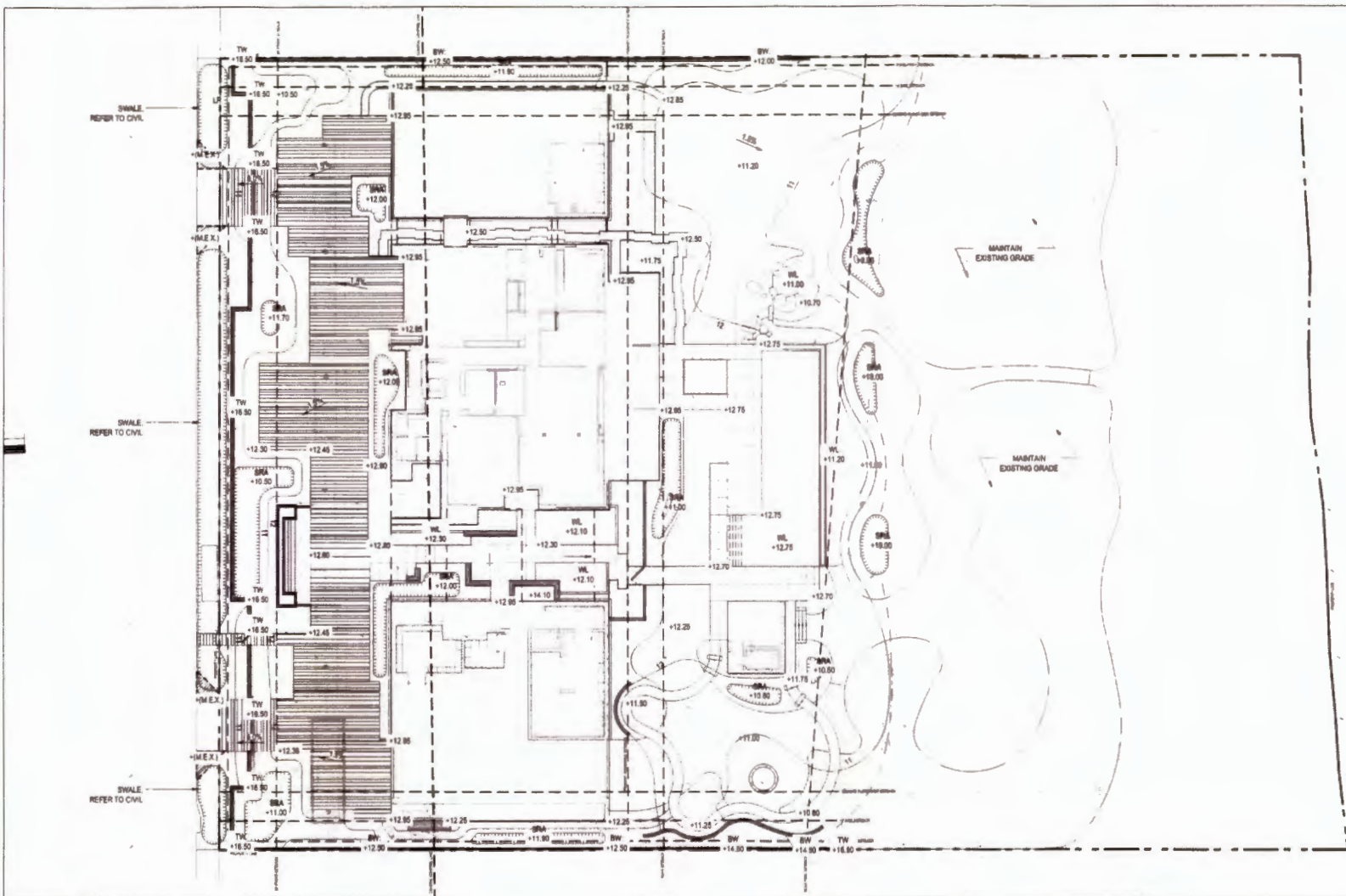
Issue Date: 04/19/2024

**SITE SECTIONS**

Sheet No. 1401



**L401**



**[STRANG]**

2885 SW 38TH TERRACE  
SUITE 301 MIAMI, FL 33133  
PH: 305-373-4880  
ARCHITECT LICENSE #SLA20080193  
WWW.STRANGDESIGN.COM

PROJECT LOCATION:  
288 OCEAN BLVD  
GOLDEN BEACH, FL 33180

PROJECT CLIENT(S) / OWNER(S):  
PHILIP T. & SUSAN HAGAN

ARCHITECT:  
STRANG DESIGN, LLC  
FIRM LICENSE #SLA20081123  
2885 SW 38TH TERRACE  
SUITE 301, MIAMI, FL 33133  
AOR LICENSE # AP100876

CIVIL ENGINEER:  
CORTELA SYSTEMS  
INTERNATIONAL, INC.  
454 S GALE HWY  
CORAL GABLES, FL  
PH: 305-461-3083

STRUCTURAL ENGINEER:  
TBD

MSP ENGINEER:  
TBD

LANDSCAPE ARCHITECT:  
RAYMOND J. JORDAN, INC.  
LICENSE #LA-2658  
2884 PONTON AVE  
MIAMI, FL 33133  
PH: 305-89-6777

GENERAL CONTRACTOR:  
TBD

PROFESSIONAL SEAL(S)

LANDSCAPE ARCHITECT  
RAYMOND J. JORDAN, INC.  
LICENSE #LA-2658

OCEAN RESIDENCE

Issue Description:  
RESIDUE DEVELOPMENT SET

Revision Schedule:

#	DATE	DESCRIPTION

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© Strang 2011 (Priority) 2/18/11 14:49

Issue Date: 01/26/2011

Project Title: OCEAN RESIDENCE

Project Number: 1600

Project Name: GRADING PLAN

**LEGEND**

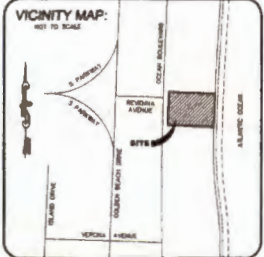


- GENERAL GRADING NOTES:**
1. ALL SHALLOW RETENTION AREAS (SRA) SHALL BE GRADED GRADUALLY TO THE LOW POINT SPECIFIED ON THE PLAN. THESE AREAS WILL CATCH ON SITE WATER FOR PLANT MATERIAL. AS WELL AS CREATE THE FIRST BARRIER FOR INFILTRATION BEFORE ENTERING THE STORM WATER SYSTEM.
  2. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
  3. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
  4. ALL SHRUBS AND GROUND COVER AREAS SHALL BE 2" BELOW FINISHED LEVEL OF ALL ADJACENT HARDSCAPE (TYPICAL).
  5. ALL TURF AREAS SHALL BE FLOSH WITH ADJACENT HARDSCAPE AREAS TO ENSURE NO TRIPPING HAZARDS.
  6. CONTRACTOR SHALL TEST PERCOLATION IN ALL SRAS AND NOTIFY LANDSCAPE ARCHITECT AND CIVIL ENGINEER OF ANY ISSUES. CONTRACTOR SHALL BE RESPONSIBLE FOR PERCOLATION IN ALL AREAS.
  7. CONTRACTOR SHALL MAINTAIN EROSION CONTROL THROUGHOUT THE CONSTRUCTION PROCESS. LANDSCAPE ARCHITECT TO APPROVE SITE CONDITIONS PRIOR TO REMOVAL OF THESE METHODS.
  8. SURVEY PROVIDED CORRESPONDS TO LONGITUDE SURVEYORS DATED 01/26/2011. ALL EXISTING SPOT ELEVATIONS REPRESENTED IN NGVD.

9. THIS DRAWING REPRESENTS AESTHETIC GRADING AND LANDSCAPE DRAINAGE ONLY. SEE ENGINEERING DRAWINGS FOR OVERALL SITE DRAINAGE AND GRADING. ALL BELOW GRADE CONNECTIONS AND/OR SYSTEM BY OTHERS.
10. ALL FINISH GRADING TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO PLANTING.
11. CONTRACTOR SHALL MEET ALL EXISTING GRADES SMOOTHLY AND EVENLY.
12. ALL RAINWATER SHALL BE MAINTAINED WITHIN PRIVATE PROPERTY. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SPOT ELEVATIONS IN FIELD. ALL QUANTITIES FOR MATERIALS NOTED ON GRADING PLANS SHALL BE VERIFIED BY THE CONTRACTOR BY DETAILED TAKEOFFS TO ENSURE THAT THE QUANTITIES GIVEN ARE SUFFICIENT TO FULFILL THE INTENT OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL FIELD VERIFY ALL AS-BUILT DIMENSIONS ON-SITE PRIOR TO BID.
14. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ON-SITE BEFORE CONSTRUCTION BEGINS.
15. NO GRADING SHALL OCCUR BENEATH THE DRIP LINE OF ANY EXISTING TREE TO REMAIN.



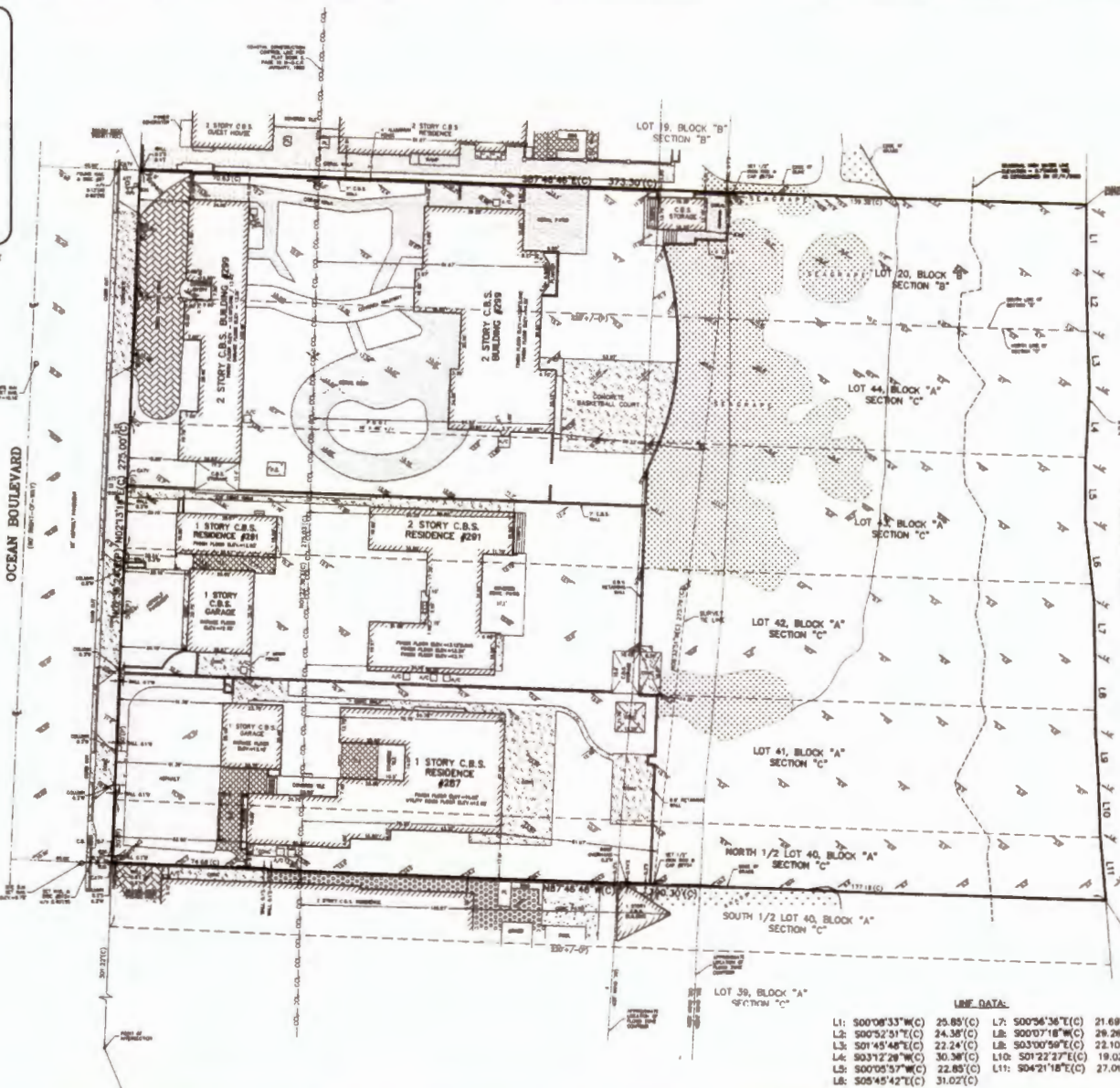
**1600**



SECTION 35, TOWNSHIP 51 SOUTH, RANGE 42 EAST



- LEGEND:**
- BA = BARRIERS
  - B.F. = BACK FLOW PREVENTER
  - CL = CALCULATED MEASUREMENT
  - C.L. = CENTERLINE
  - C.S. = CONCRETE SLAB
  - C.S.A. = CONCRETE BLOCK STRUCTURE
  - C.F. = CHAIN LINK FENCE
  - C.D. = CURB DOWEL
  - CONC. = CONCRETE
  - C.L.P. = CONCRETE LIGHT POLE
  - C.M. = CEMENT MORTAR
  - E.M. = ELECTRIC METER
  - E.S. = ELECTRIC SERVICE
  - E.L. = ELEVATION
  - F.P. = FLESHED POWER IN LIGHT
  - G.A. = GUT GROUND
  - G.V. = GATE VALVE
  - L.P. = LIGHT POLE
  - H-S.C.A. = HAWK-DANE COUNTY RESIDENCE
  - H.A. = HATCHING
  - H.V. = HORIZONTAL VERTICAL DATUM
  - M.H. = MANHOLE
  - M.S.C.A. = MANHOLE RESISTOR VERTICAL DATUM
  - O.R. = ORIGINAL RECORDS BOOK
  - P. = PLAT MEASUREMENT
  - P.B. = PLAT BOOK
  - P.E. = PUMP EQUIPMENT
  - P.P. = PAVEMENT
  - P.M. = POWER METER
  - P.F. = POWER POLE
  - P.T. = AT & T PHONE METER
  - PL. = PLAYED
  - B.F. = BACK FLOW PREVENTER
  - B.V. = BASTER VALVE
  - C.A.T.V. = CABLE TV RESS
  - A.C. = AIR CONDITIONING UNIT
  - O.D. = OFFSET
  - N.C.P. = NAMED-CURVED PARABOLA
  - P.R. = PIPE REVISION
  - U.P. = UTILITY POLE
  - S.P. = SPOT ELEVATION



**LINE DATA:**

L1: 500'06'33\"W(C)	29.85'(C)	L7: 500'56'36\"E(C)	21.68'(C)
L2: 500'52'31\"E(C)	24.38'(C)	L8: 500'07'18\"W(C)	29.28'(C)
L3: 501'45'48\"E(C)	22.24'(C)	L9: 503'00'59\"E(C)	22.10'(C)
L4: 503'12'29\"W(C)	30.38'(C)	L10: 501'22'27\"E(C)	19.02'(C)
L5: 500'05'37\"W(C)	22.85'(C)	L11: 504'21'18\"E(C)	27.01'(C)
L6: 505'45'42\"E(C)	31.02'(C)		

**PINNELL SURVEY, INC.**  
 PROFESSIONAL SURVEYORS AND MAPPERS  
 1905 WEST HILLOWAY BOULEVARD, SUITE 210-A  
 COCOA BEACH, FLORIDA 32909  
 PHONE (888) 868-8860 FAX (321) 819-4411  
 LICENSED BUSINESS 00087

---

**PROJECT ADDRESS: 287, 291 & 299 OCEAN BLVD.**  
 GOLDEN BEACH, FL 33180

---

**CERTIFY TO:**  
 1. DESERT W. COON

---

**LEGAL DESCRIPTION:**  
 THE NORTH ONE-HALF (1/2) OF LOT 19 AND ALL OF LOTS 19 THROUGH 44, BLOCK "A" OF SECTION "C" OF GOLDEN BEACH ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 98 OF THE PUBLIC RECORDS OF HAWK-DANE COUNTY, FLORIDA, TOGETHER WITH  
 THE NORTH ONE-HALF (1/2) OF LOT 44 AND ALL OF LOTS 44 THROUGH 48, BLOCK "A" OF SECTION "C" OF GOLDEN BEACH ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 98 OF THE PUBLIC RECORDS OF HAWK-DANE COUNTY, FLORIDA,  
 SAID LAND STRAIGHT LINES AND BEING IN THE CITY OF GOLDEN BEACH, HAWK-DANE COUNTY, FLORIDA AND CONTAINING 104,579 SQUARE FEET (2.406 ACRES) MORE OR LESS.

---

**ENCROACHMENT NOTES:**

- 1) C.B.S. WALL CROSSES OVER THE NORTHERLY PROPERTY LINE.
- 2) C.B.S. WALL CROSSES OVER THE WESTERN PROPERTY LINE.
- 3) FENCE WALL, COLUMN AND POST ENCROACHES OVER THE SOUTHERLY PROPERTY LINE.

---

**GENERAL NOTES:**

- 1) TYPE OF SURVEY: BOUNDARY
- 2) THIS SURVEY HAS BEEN REVIEWED AS INDICATED IN THE REPORT AND SHOWN THEREIN. WHEN ANY AND ALL PREVIOUS REPORTS OF THIS SURVEY PREPARED BY PINNELL SURVEY, INC. ARE RECALLED TO MIND, THIS SURVEY HAS BEEN REVIEWED AND FOUND TO BE CORRECT.
- 3) THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL MEASUREMENT AND BEARS OF A FLORIDA LICENSED SURVEYOR WHO HAS SIGNED AND SEALED THIS SURVEY.
- 4) THE PROPERTY OWNER HAS BEEN ADVISED BY THE SURVEYOR AND ADVISED BY THE PUBLIC RECORDS OF THE COUNTY FOR WHICH THE SURVEY PROPERTY IS LOCATED IN.
- 5) LOCAL CONCRETE MIXTURE, FIELD MEASUREMENTS AND ALL MEASUREMENTS HAVE BEEN MADE IN ACCORDANCE WITH THE FLORIDA ENGINEERING BOARD'S RECOMMENDATIONS.
- 6) ELEVATIONS SHOWN HEREON OF ANY KIND ARE BASED ON THE M.S.L. UNLESS OTHERWISE NOTED.
- 7) UNDEVELOPED IMPROVEMENTS AND UTILITIES ARE NOT LOCATED.
- 8) THIS SURVEY IS THE PROPERTY OF PINNELL SURVEY, INC. AND SHALL NOT BE USED OR REPRODUCED, WHOLE OR IN PART, WITHOUT WRITTEN PERMISSION AS AUTHORIZED FROM PINNELL SURVEY, INC.
- 9) ALL ENCROACHMENTS SHOWN ON THE ATTACHED SURVEY ARE FOR THE RECORDS PLAT (SUNLESS OTHERWISE NOTED).
- 10) BEARING SHOWN HEREON ARE BASED ON A CALCULATED GRID (FLORIDA EAST) BEARING OF NORTH 00°01'42" EAST ALONG THE WEST LINE LOT 20, BLOCK "D" OF SECTION "2" AND THE WEST LINE OF LOTS 40 THRU 44, BLOCK "A" OF SECTION "C" OF GOLDEN BEACH PLAT BOOK 9, PAGE 98, HAWK-DANE COUNTY, FLORIDA.
- 11) BY GRAPHIC PLATTING ONLY, THE PROPERTY SHOWN HEREON IS LOCATED WITHIN A 1/4 SECTION 35, TOWNSHIP 51 SOUTH, RANGE 42 EAST, BEARING A TRUE EFFECTIVE DATE OF 08/17/09 AND AN INDETERMINATE DATE OF 08/17/09.
- 12) THE COORDINATE SYSTEM IS THE FLORIDA STATE PLANE COORDINATE SYSTEM BASED ON THE TRANSVERSE MERCATOR PROJECTION, EAST ZONE, NORTH AMERICAN DATUM OF 1983, WITH THE DATUM POINT OF HONOLULU, HAWAII. ALL DATA ARE REFERENCED TO HORIZONTAL DATUM POINT "1983" THE USES IN ESTABLISHING THE CALCULATED BEARINGS AND COORDINATES AS SHOWN HEREON.
- 13) INTRODUCTION: H-S.C.A. - HAWK-DANE COUNTY ENGINEERING BOARD, 1-30-2003 ELEVATION = 8.38 (DMS) (183)
- 14) THIS SURVEY IS BASED ON PINNELL SURVEY, INC. 22-1178 AND ELEVATION DATUM HAS CONSIDERED FROM 2009 TO 2010 PER CITY OF GOLDEN BEACH'S REQUEST.
- 15) DATE FIELDWORK PERFORMED: 07/17/09 OVER BOOK 98, PAGE 98.
- 16) DRAWN BY: D.S. / CHECKED BY: J.P.

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**CERTIFICATION:**  
 I, JASON H. PINNELL, PROFESSIONAL SURVEYOR AND MAPPER, LICENSE NO. 12345, DO HEREBY CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AND ETHICS AS SET FORTH IN THE FLORIDA STATUTES AND REGULATIONS OF THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

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**REVISIONS:**

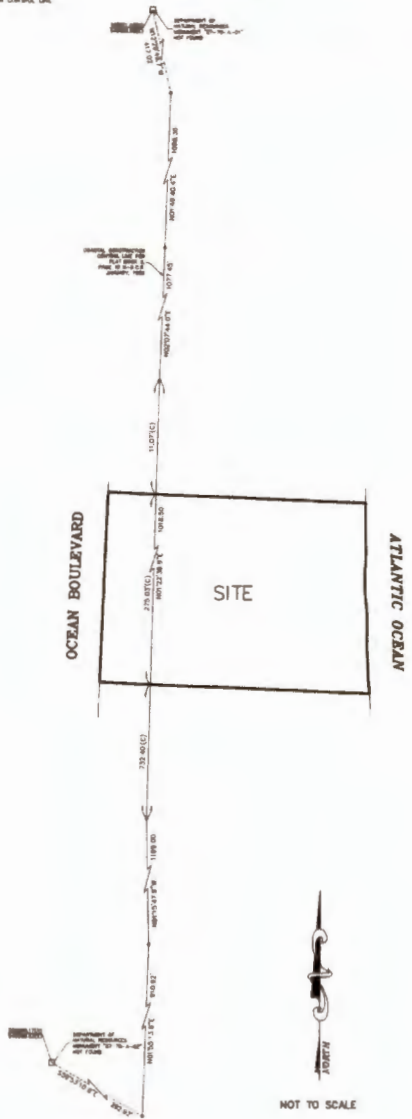
REVISION	DATE	CHECKED BY
CORRECT ELEVATIONS TO 8.38 (20-2107)	12/29/12	M.B.

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**SHEET 1 OF 2** **JOB NO.: 23-1178NO**

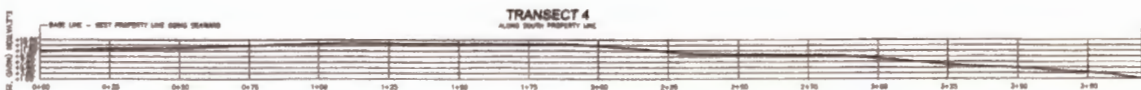
THIS SURVEY IS COPYRIGHTED BY THE SURVEYOR AND THE USER MUST OBTAIN WRITTEN PERMISSION FROM THE SURVEYOR BEFORE IT CAN BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

**LOCATION SKETCH:**  
FOR COASTAL CONSTRUCTION CONTROL LINE



**PINNELL SURVEY, INC.**  
PROFESSIONAL SURVEYORS AND MAPPERS  
800 WEST HILLCROFT BOULEVARD, SUITE 210-A  
GOCORNET CREEK, FLORIDA 32879  
PHONE: (850) 418-4840 FAX: (850) 418-4841  
LICENSED BUSINESS 9887

PROJECT ADDRESS: 287, 291 & 299 OCEAN BLVD.  
GOLDEN BEACH, FL 33180





# TOWN OF GOLDEN BEACH

One Golden Beach Drive  
Golden Beach, FL 33160

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## MEMORANDUM

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**Date:** May 21, 2024  
**To:** Honorable Mayor Glenn Singer &  
Town Council Members  
**From:** Alexander Diaz,  
Town Manager *Alex B*

Item Number:

4

**Subject:** Resolution No. 2944.24 – Variance Requests for 287, 291, 299 Ocean Boulevard, Golden Beach, FL 33160 (Site elevations/grading – Zone 1)

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### Recommendation:

It is recommended that the Town Council allow the applicant the opportunity to seek approval of the variance request presented in Resolution No. 2944.24.

### Background and History:

Town Code Section 66-102. – Minimum lot and swale elevations; grade. (a) The finished grade of any lot shall not exceed an elevation of 24 inches above the crown of the road adjacent to the lot and in no event shall exceed an elevation of six feet N.G.V.D. except for lots abutting Ocean Boulevard where the minimum elevation shall be 12 inches above the crown of the road, and the maximum elevation shall not exceed an elevation of 11 feet N.G.V.D.

The applicant's request is for the site elevations not to exceed a height of 13' NGVD. For conveyance of the variances these parcels require a unity of title, that will be transferred to the unified lots.

The Building Regulation Advisory Board met May 14, 2024 and recommended approval of the variance request; the motion passed with a Board vote of 4 – 0.

### Attachments:

- Resolution
- Christopher Gratz Zoning Staff Report
- Notice of Hearing
- Building Regulation Advisory Board Application
- Copy of resident notification listing
- Summary minutes

**Financial Impact:** None