

TOWN OF GOLDEN BEACH  
BUILDING AND ZONING DEPARTMENT  
MEMORANDUM

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**TO:** Building Regulatory Advisory Board  
**FROM:** Christopher M. Gratz, AICP, Consulting Planner  
**DATE:** May 14<sup>th</sup>, 2024  
**SUBJECT:** Variance for a new Residence, 299, 291, 287 Ocean Boulevard

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**GENERAL PROPERTY INFORMATION**

**Land Use Designation:** Low Density Residential  
**Zoning District:** Zone One (1)  
**Address:** 299, 291, 287 Ocean Boulevard  
**Legal Description:** Lot 20, Block "B" of Section "B" of Golden Beach, According to the Plat thereof, as recorded in Plat Book 9, Page 52 of the Public Records of Miami-Dade County; together with the north ½ of Lot 40 and all of lots 41 through 44, Block "A" of Section "C" of Golden Beach, According to the Plat thereof, as recorded in Plat Book 9, Page 52 of the Public Records of Miami-Dade County.  
**Lot Information:** Full-sized lot, 275' frontage, average depth of 381.8', 104,579 square feet (2.4008 acres)

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**APPLICATION INFORMATION**

**Owner/Agent:** Gregory M Cogan Trs, Florida Land Trust No 1 GB/David Galler

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**REQUEST**

Variance **FROM:** Town Code §66-102(a) which requires the finished grade of any lot shall not exceed an elevation of 24 inches above the crown of the road adjacent to the lot and in no event shall exceed an elevation of six feet N.G.V.D. except for lots abutting Ocean Boulevard where the minimum elevation shall be 12 inches above the crown of the road, and the maximum elevation shall not exceed an elevation of 11 feet N.G.V.D.;

**TO:** allow the finished grade of the lot to be 13' NGVD (2' higher).

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## HISTORY

The property contains three (3) homes that will be demolished according to the Miami-Dade Property Appraiser.

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## ANALYSIS

### DIVISION 2. - VARIANCES

#### **§66-41. - Authorized, general procedure.**

(a) The Building Regulation Advisory Board may recommend pursuant to the hearing as provided in §66-42 the granting of a Variance by the Town Council from the terms of the zoning provision of this chapter if it is not contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions will result in unnecessary and undue hardship. In order to recommend any Variance from the terms of this chapter, the Board shall find the following:

- (1) The Variance is in fact a Variance from a zoning regulation as set forth within this chapter.

***The request is for variances from zoning regulations.***

- (2) Special conditions and circumstances exist which are peculiar to the land or structure involved and which are not applicable to other lands or structures in the same district.

***This property has an existing average grade that is higher than the maximum 11 NGVD allowed by the Town Code.***

- (3) The special conditions and circumstances do not result from the actions of the applicant.

***The variance request is a result of the applicant's desire to reduce the amount of site disturbance and need to offset soil cut offsite.***

- (4) Granting the Variance requested will not confer on the applicant any special privilege that is denied by this chapter to other lands or structures in the same district.

***The granting of the variance directly confers a special privilege to the owner by allowing a lot elevation higher than what is allowed in Zone 1.***

- (5) Literal interpretation of the provisions of this chapter would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant.

***No evidence has been presented that an undue hardship would be incurred by having a lot grade that is in compliance with the Code.***

(6) The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure.

***The requested variance is what the applicant needs to achieve the desired design. No evidence has been presented that achieving the lot grade the Town Code requires is not reasonable.***

(7) The granting of the Variance will be in harmony with the general intent and purpose of this chapter and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

***The intent of the Town Code is to promote the construction of luxury homes with the designs of new development that are compatible with existing development and have a cohesive architectural character per Town Codes §50-2(a) & (c). The impact of allowing the average grade being 2' higher on a property so large may have a noticeable visual impact.***

(b) In recommending the granting of any Variance, the Building Regulation Advisory Board may prescribe appropriate conditions and safeguards in conformity with this Code. Violation of the conditions and safeguards, when made a part of the terms under which the Variance is granted, shall be deemed a violation of the Code of Ordinances. The Building Regulation Advisory Board may prescribe a reasonable time limit wherein the Construction of the structure subject to the Variance is required to be completed.

***No conditions are recommended.***

(c) Under no circumstances shall the Building Regulation Advisory Board recommend the granting of a Variance or a use not generally permitted in the district involved or any use expressly or by implication prohibited by the terms of this Code in the district. No nonconforming use of neighboring lands, structures or buildings in the same district and no permitted use of lands, structures or buildings in other districts shall be considered grounds for a Variance.

***The request is not for a use variance.***

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### RECOMMENDATION

The applicant has failed to provide any substantial competent evidence to support the request and fails to meet the criteria required by the Town Code for the granting of a variance; therefore **denial** of the application is recommended.



# TOWN OF GOLDEN BEACH NOTICE OF PUBLIC HEARING

The **BUILDING ADVISORY BOARD** and the **TOWN COUNCIL** of the **TOWN OF GOLDEN BEACH** will hold a Public hearing on the following proposal:

    X     Variance Request(s)  
           Accessory Structures

Construction of a new single-family residence.

Relief from Town Code §66-102(a) which requires the finished grade of any lot shall not exceed an elevation of 24 inches above the crown of the road adjacent to the lot and in no event shall exceed an elevation of six feet N.G.V.D. except for lots abutting Ocean Boulevard where the minimum elevation shall be 12 inches above the crown of the road, and the maximum elevation shall not exceed an elevation of 11 feet N.G.V.D.;

Request is to allow the finished grade of the lot to be 13' NGVD (2' higher).

JOB ADDRESS:	291, 287, and 299 Ocean Boulevard, Golden Beach, FL, 33160 (Through Unity of Title)
OWNER ADDRESS:	151 Tremont St Ste 110 Pmb 392, Boston, Ma 02111
REQUESTED BY:	Gregory M Cogan Trs & Florida Land Trust No 1gb
LEGAL DESCRIPTION:	Lot 20, N ½ of Lot 40, All Lot 41, 42, 43, and 44, Blk A & B, GB Sec C PB 9-52
FOLIO NO.:	19-1235-003-0310, 003-0290, 002-0500

The **BUILDING ADVISORY BOARD** will consider this item:

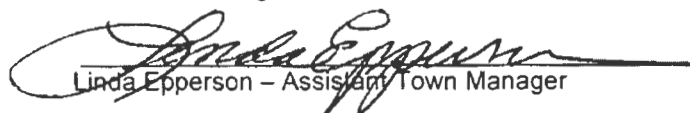
Golden Beach Town Hall  
100 Ocean Boulevard  
Golden Beach, FL 33160  
<https://us02web.zoom.us/j/89291108015?pwd=NS8rWnJhN21mSUdlcmFadHErei8yZz09>  
Meeting ID: 892 9110 8015  
Passcode: 752288  
May 14, 2024 at 6pm

The **TOWN COUNCIL** will consider this item:

Golden Beach Town Hall  
100 Ocean Boulevard  
Golden Beach, FL 33160.  
<https://us02web.zoom.us/j/84846705084?pwd=bjNxUVNuUUx0andxRDJJScTfFdTJKUT09>  
Meeting ID: 848 4670 5084  
Passcode: 949843  
May 21, 2024 at 6pm

If you wish to submit written comments for consideration, they should be submitted to the Office of the Golden Beach Town Manager, prior to the scheduled meeting. If you have any questions regarding the proposed action, you may contact the Building Department at (305) 932-0744.

Dated: May 2, 2024

  
Linda Epperson – Assistant Town Manager

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THE COUNCIL, BOARD OR COMMITTEE WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING HE WILL NEED A RECORD OF THE PROCEEDINGS, AND THAT FOR SUCH PURPOSE AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDING IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. ANY INDIVIDUAL WHO BELIEVES HE OR SHE HAS A DISABILITY WHICH REQUIRES A REASONABLE ACCOMMODATION IN ORDER TO PARTICIPATE FULLY AND EFFECTIVELY IN A MEETING OF THE BUILDING REGULATION BOARD MUST SO NOTIFY THE TOWN CLERK, AT (305) 932-0744 AT LEAST 24 HOURS PRIOR TO THE DATE OF THE MEETING

March 20, 2024

jungles

287, 291, 299 Ocean Boulevard

Golden Beach Variance Request

**Memo: *Request for Variance for Sec. 66-102 (a) – 299 Ocean Boulevard***

As a means of designing to promote environmental resilience and reducing the impacts of site disturbance, we request a grade variance to Golden Beach Code Sec 66-102 (a), to allow site grades to reach elevation 13 N.V.G.D. As illustrated on Landscape sheet L601, the proposed maximum lot elevation / FFE of elevation 13 N.V.G.D. closely follows the existing grade of the site. This approach reduces the amount site disturbance and the need to offset soil cut offsite. Opting to set the grade at elevation 11 N.V.G.D would result in several feet of cut across a large swath of the site.

By setting the structure FFE at elevation 13 N.V.G.D., we also even the grade between adjacent properties, both of which have significant amount of area at or above elevation 13. This promotes optimal drainage between properties and towards Ocean Boulevard, the crown of which sits at elevation 10.44 N.V.G.D.

TOWN OF GOLDEN BEACH  
BUILDING REGULATION ADVISORY BOARD  
APPLICATION FOR  
PETITION FOR VARIANCE

Date: 05/16/24

Fee: \$750.00

I, Michael J. Marrero, as legal representative hereby petition the Town of Golden Beach for a variance from the terms of the Town of Golden Beach Code of Ordinances affecting property located at: 287, 291, and 299 Ocean Boulevard, Golden Beach, FL 33160 Folio No. 19-1235-003-0290; 19-1235-003-0310; 19-1235-002-0500

As specified in the attached "Application for Building Regulation Advisory Board" and related supporting material.

1. The Variance requested is for relief from the provisions of **(list section number(s) of the Town of Golden Beach Code of Ordinances)**: Sec. 66-102(a)

*"The finished grade of any lot shall not exceed an elevation of 24 inches above the crown of the road adjacent to the lot and in no event shall exceed an elevation of six feet N.G.V.D. except for lots abutting Ocean Boulevard where the minimum elevation shall be 12 inches above the crown of the road, and the maximum elevation shall not exceed an elevation of 11 feet N.G.V.D. Exterior slabs and walkways shall not exceed an elevation of 36 inches above the crown of the road adjacent to the lot."*

2. In order to recommend the granting of the variance, it must meet all the following criteria (please provide a response to each item):

- a. The Variance is in fact a Variance from a zoning regulation as set forth within the Zoning Chapter of the Town Code. \_\_\_\_\_

The variance requested is a variance from zoning regulation Sec. 66-102(a) of the Town Code. This section requires the maximum elevation of grade to be at 11FT NGVD. We are requesting to maintain the existing grade on site which is between 12FT - 13FT NGVD.

- b. Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same district. \_\_\_\_\_

The special condition in this case is the existing condition on site, which provides a grade at a higher elevation than what is allowed by Town Code.

- c. The special conditions and circumstances do not result from the actions of the applicant. \_\_\_\_\_

The special conditions and circumstances do not result from any actions of the applicant. The property was purchased in this condition and we would like to request to be grandfathered in to current code requirements. This will lessen the environmental impact of work on site.

- d. Granting the Variance requested will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district. \_\_\_\_\_

Confirming the granting of the variance will not confer on the applicant any special privilege that is denied by the Zoning Chapter of the Town Code to other lands or structures in the same district.



TOWN OF GOLDEN BEACH  
BUILDING REGULATION ADVISORY BOARD  
PETITION FOR VARIANCE

3. Literal interpretations of the provisions of the Zoning Chapter of the Town Code would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of zoning regulations and would work unnecessary and undue hardship on the applicant. \_\_\_\_\_

Confirming the literal interpretation of the code would result in unnecessary work and undue hardship on the surrounding environment. The goal of this project is to design with environmental resiliency in mind. Lowering the grade will disturb the natural habitat would cause a great environmental impact on site and surrounding sites as storm drainage will be negatively affected.

4. The Variance granted is the minimum Variance that will make possible the reasonable use of the land or structure. Confirmed. \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

5. The granting of the Variance will be in harmony with the general intent and purpose of the Town Code and the Variance will not be injurious to the area involved or otherwise detrimental to the public welfare. Confirmed. \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Does the Variance being requested comply with all the above listed criteria?

Yes  No

6. Our code states that submission of a written statement is invited and encouraged. Has the applicant (petitioner) explained the variance to the owners of the nearest adjacent residences and sought their approval in writing? Yes  No.   
Please attach any written letters of no objection to this petition.

7. Is this request related to new construction?  Yes  No

8. Is construction in progress? No \_\_\_\_\_

9. Is this request as a result of a code violation? No \_\_\_\_\_

10. Did this condition exist at the time property was acquired?  Yes  No

11. Is this request sought as a remedy to a case to be heard, or action taken by the Special Magistrate? Remedy to a case to be heard. \_\_\_\_\_

12. Do you have a building permit?  Yes  No

Building Permit No. \_\_\_\_\_ Date issued: \_\_\_\_\_

TOWN OF GOLDEN BEACH  
BUILDING REGULATION ADVISORY BOARD  
PETITION FOR VARIANCE  
AFFIDAVIT BY OWNER

Affidavit by Owner for Variance Request(s):

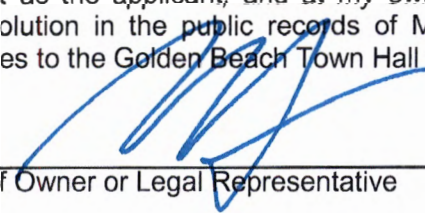
Folio No.: 19-1235-002-0500 Address: 287, 291, and 299 Ocean Boulevard, Golden Beach, FL 33160 (Unity of Title under review)

Legal Description: Lots 20, in Block "B", of Golden Beach Section "B", Lot 44, Lot 43, Lot 42 and Lot 41 in Block "A" Golden Beach Section "C", according to the plat thereof, recorded in plat book 9 at page 52, of the public records of Miami-Dade County, Florida.

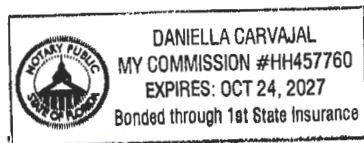
Being duly sworn, deposes and says: That He/She is the Owner named in the application for Building Advisory Board for the hearing date of 02/14/24 relating to Variance requests for construction or other work to be performed on, or in connection with, the premises located as indicated in the application.


I acknowledge notification by The Town of Golden Beach, that granting of a variance(s) by The Town Council, is conditioned on the following:

1. That a Building Permit for the contemplated work pursuant to the Variance must be issued within two (2) years from the date of the approval of the Resolution granting such variance request.
2. If a Building Permit is not issued within the two (2) year time limit set then the Resolution granting the Variance approval will be null and void.
3. That as the applicant, and at my own expense, I shall record a certified copy of the Resolution in the public records of Miami-Dade County and return two (2) certified copies to the Golden Beach Town Hall for inclusion into my property records.

  
\_\_\_\_\_  
Signature of Owner or Legal Representative

Sworn to and subscribed before me this 16 day of, May, 2024



  
\_\_\_\_\_  
Notary Public State of Florida at Large

Personally know to me

Produced Identification



TOWN OF GOLDEN BEACH  
APPLICATION FOR  
BUILDING REGULATION ADVISORY BOARD HEARING

Application fee: \$2,375.00

Request hearing in reference to:

New residence/addition: New Residence Variance(s): Requesting variance to Section 66(102)a  
 Exterior alterations: None Other Structure: None  
 Date application filed: 11/30/23 For hearing date: 12/12/23

1. **Project information:** Proposed new construction of a 2-story single family residence and a detached cabana. The main residence houses 8 bedrooms, 10 full bathrooms, 2 half bathrooms, and has an understory containing Laundry, Gym, Storage, 1 Bathroom, and 3 Garages.  
**Project description:** \_\_\_\_\_  
**Legal Description:** Lots 20, in Block "B", of Golden Beach Section "B", Lot 44, Lot 43, Lot 42 and Lot 41 in Block "A" Golden Beach Section "C", according to the plat thereof, recorded in plat book 9 at page 52, of the public records of Miami-Dade County, Florida.  
**Folio #:** 19-1235-002-0500  
**Address of Property:** 287, 291, and 299 Ocean Boulevard, Golden Beach, FL 33160

2. Is a variance(s) required: Yes  No  How Many? \_\_\_\_\_  
 (If yes, please submit variance application form for each request).

Owner's Name: Gregory M. Cogan, Trustee\* Phone 617-659-2123 Fax Please call

Owner's address: 151 Tremont St, Suite 110 PMB 392 City/State Boston, MA Zip 02111

Email address: greg@lackcogan.com

Agent: David Galler Phone 617-365-2728 Fax None

Agent's address: 1581 Brickell Ave, Suite 1705 City/State Miami, FL Zip 33129

Email address: david.galler@yahoo.com

Architect: Sofia Mere, Strang Design Phone 305-373-4991 Fax Please email

Email address: sofia@strang.design

Contractor: Woolems Inc. Phone 561-835-0401 Fax 561-835-0403

\*of Florida Land Trust No. 1GB u/a/d as of 12/20/2021

3. Describe project and/ or reason for hearing request: Design review of new construction residence.

4. The following information is submitted for assisting in review:

Building Plans:

Conceptual:  Preliminary:  Final:   
 Other: \_\_\_\_\_

5. Estimated cost of work: \$ \$25.5M (A/C sf x \$1000/sf)  
 Estimated market value of: Land \$ \$61,930,662 (from tax bill)  
 Building \$ Existing buildings to be demolished

(Note: If estimated cost of work is 40% of the market value of the building an independent appraisal is required).

TOWN OF GOLDEN BEACH  
APPLICATION FOR  
BUILDING REGULATION ADVISORY BOARD HEARING

6. Is hearing being requested as a result of a Notice of Violation? No
7. Are there any structures on the property that will be demolished? Yes
8. Does legal description conform to plat? Unity of Title is under review
9. Owner Certification: I hereby certify that I am the owner of record (\*) of the property described in this application and that all information supplied herein is true and correct to the best of my knowledge.

Signature of owner(s): \_\_\_\_\_

Acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

Type of identification:

\_\_\_\_\_

\_\_\_\_\_

Notary Public

Owner/Power of Attorney Affidavit:

I, being duly sworn, depose and say I am the owner (\*) of the property described in this application and that I am aware of the nature and request for: NEW RESIDENCE  
BERCOW RADELL FERNANDEZ LARKIN + TAPANES relative to my property and I am hereby authorizing \_\_\_\_\_ to be my legal representative before the Building Regulation Advisory Board and Town Council.

\_\_\_\_\_  
Signature of owner(s)

Acknowledged before me this \_\_\_\_\_ day \_\_\_\_\_ 20\_\_\_\_\_

Type of identification:

\_\_\_\_\_

\_\_\_\_\_

Notary Public

(\*) If owner of record is a corporation then the president with corporate seal, the president and the secretary (without corporate seal), or duly authorized agent for the corporation may execute the application, proof that the corporation is a corporation in good standing.

Lots 20, in Block "B", of Golden Beach Section "B", Lot 44, Lot 43, Lot 42 and Lot 41 in Block "A" Golden Beach Section "C", according to the plat thereof, recorded in plat book 9 at page 52, of the public records of Miami-Dade County, Florida.

TOWN OF GOLDEN BEACH
APPLICATION FOR
BUILDING REGULATION ADVISORY BOARD HEARING

Property Address: 287, 291, and 299 Ocean Boulevard, Golden Beach, FL 33160
Legal Description:
Owner's Name: Gregory M. Cogan, as trustee\* Phone 617-659-2123 Fax Please call
Agent's Name: David Galler Phone 617-365-2728 Fax None
Board Meeting of: 11/30/23, hearing date 01/09/24
\*of Florida Land Trust No. 1GB u/a/d as of 12/20/2021

- NOTE: 1. Incomplete applications will not be processed.
2. Applicant and/or architect must be present at meeting.

Application for: 287, 291, and 299 Ocean Boulevard, Golden Beach, FL 33160
Lot size: 275.00' x 373.30'
Lot area: 104,570 SF or 2.4 Acres
Frontage: 275.00'
Construction Zone: Zone One
Front setback: 20'-0" REQUIRED; 20'-0" PROVIDED
Side setback: 10'-0" REQUIRED; 10'-0" PROVIDED
Rear setback: MUST ALIGN WITH ADJACENT RESIDENCES; 84'-10" PROVIDED
Coastal Construction: Yes [ ] No [ ] East of coastal const. control line: Yes [ ] No [ ]
State Road A1A frontage: 275.00'
Swimming pool: [ ] Yes [ ] No Existing: See survey Proposed: 22'-5" SETBACK
Fence Type: Side: CBS Wall, Front/Rear: aluminum gate Existing: 4-5FT High Proposed: 6FT High
Finished Floor elevation N.G.V.D.: Ground: 13.17' NGVD; First: 24.67' NGVD; Second: 39.17' NGVD
Seawall: None proposed Existing: 0.9' High Proposed: None
Lot Drainage: The system is a zero discharge.
How will rainwater be disposed of on site? The surface water and roof water is being collected around the site and is being disposed into a seepage system.
Adjacent use (s): Residences
Impervious area: 55,790 SF
% of impervious area: 53.35%
Existing ground floor livable area square footage: N/A
Proposed ground floor livable area square footage: Ground: 9,688 SF, First: 9,849 SF (area Under A/C)
Existing 2nd floor livable area square footage: N/A
Proposed 2nd floor livable area square footage: (area Under A/C) Second: 5,941 SF
Proposed % of 2nd floor over ground floor: 60.3%
Vaulted area square footage: N/A this project only has flat ceilings
Vaulted height: N/A this project only has flat ceilings
Color of main structure: Beige
Color of trim: Beige
Color & material of roof: White, TPO
Building height (above finished floor elevation): 27'-0" (51.50' NGVD) from First Floor Slab (24.33' NGVD)
Swale: (Mandatory 10'-0" from edge of payment, 10 ft. wide x 1 ft. deep minimum):
The mandatory swale requirements of 10FT wide by 1FT deep will be provided.
Existing trees in Lot: 156 in Swale: 9
Proposed trees in Lot: 257 in Swale: 9
Number & type of shrubs: 640 shrubs proposed in lot, 0 proposed in swale
Garage Type: Enclosed Existing: Enclosed Proposed: Enclosed
Driveway width & type: Proposing to keep existing 2-way (24'-0" wide) and 1-way (12'-0") driveways.

Signature line and Date: \_\_\_\_\_ Date: \_\_\_\_\_



**TOWN OF GOLDEN BEACH**  
**APPLICATION FOR**  
**BUILDING REGULATION ADVISORY BOARD MEETING/HEARING**

Property Location: 287, 291, 299 Ocean Boulevard, Golden Beach, FL 33160 Meeting Date: 01/09/23  
Variance Hearing Dates: Advisory Board \_\_\_\_\_ Town Council \_\_\_\_\_

APPROVAL FROM THE BUILDING REGULATION ADVISORY BOARD IS REQUIRED FOR:

- A. Plans for new residence
- B. Plans for addition to or exterior alterations of an existing structure.
- C. Additional structures on premises of existing residences
- D. Review of landscape plan for new construction, renovation or addition to existing residence.
- E. Recommendation to Town Council for the approval or denial of variances and special exceptions.
- F. Recommendation to Town Council for interpretation regarding apparent conflicts or inconsistencies in the zoning provisions in Chapters 46 & 66

**APPLICATION HEARING PROCESS**

**Building Approval:**

Applicant shall submit 2 completed packages for review and approval. Each package shall consist of an application, survey, warranty deed and drawings as required. The plans shall be sized as follows: 2 sets 11" x 17" and 1 USB/ flash drive containing everything submitted hard copy (including application). This is separate from the landscaping plan submittal.

**Landscape Approval - Separate Submittal from the Building Submittal** Applicant shall submit 2 complete packages for review and approval. Each package shall consist of an application, existing landscape and tree disposition survey, proposed site plan and landscape plans as required. The plans shall be sized as follows: 1 set 11 x 17, 1 full size set 24" x 36" and 1 USB/ flash drive containing everything submitted hard copy (including application).

**Zoning Variance Approval:**

Submittal for a zoning variance: submit 2 complete packages for approval: each package shall consist of an application, survey, warranty deed and drawings are required. The plans shall be sized as follows: 2 sets 11" x 17" and 1 USB/ flash drive containing everything submitted hard copy (including application).

**Final Submittal Requirement:**

Eight days prior to the meeting and after all approvals have been obtained. The applicant shall submit for the Board's approval an additional 8 completed application packages, for both Building and Landscaping, which shall consist of a copy of the completed application, approved plans 8 sets 11 x 17 of the approved building and landscape applications, a survey, warranty deed, any other required documentation by the reviewer, and USB/ flash drive containing everything submitted hard copy (including application).

The Building Regulation Advisory Board (B.R.A.B.) meets at 6:00 P. M. on the second Tuesday of every month. Applications must be submitted 40 days, prior to scheduled

Any variances required must be heard and approved by the Town Council after the Building Regulation Advisory Board has considered the item. The Variance will be heard by the Town Council, in the following month, (on the third Tuesday), after the Building Regulation Advisory Board's action, at the Town Council's regularly scheduled meeting.

**\*\*NOTICE\*\***

**INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. PLEASE MAKE SURE THAT YOU, THE APPLICANT, HAVE CHECKED AND MARKED ALL THE REQUIREMENTS OF THE APPLICATION. IF SUBMITTALS HAVE BEEN INACTIVE FOR 90 DAYS OR MORE, THEY WILL AUTOMATICALLY BE PLACED ON INACTIVE STATUS AND NEW SUBMITTALS WILL BE REQUIRED.**

**TOWN OF GOLDEN BEACH APPLICATION FOR  
BUILDING REGULATION ADVISORY BOARD HEARING**

1. The application deadline date will be adhered to. No application will be accepted after the date and time specified.
2. The Building Department will review the application package. If it is determined that the application is incomplete, the item will not be accepted and returned to the applicant for correction.
3. During the Forty Day (40) period from the deadline date to the hearing date the following events shall take place in proper order:
  - a) During the first week upon submittal, the zoning and landscape reviewers, or the Town's designated agent will review the application and complete a comment sheet specifying all deficiencies for correction which will be emailed to you the applicant/agent of record.
  - b) Corrections for any deficiencies must be submitted within 15 days of the scheduled meeting/hearing date. Corrections not approved or received for a scheduled Agenda item will be deferred to the next B.R.A.B. meeting/hearing date.
  - c) All applicants shall be made aware that incomplete applications or deficiencies not corrected in time as per these regulations, will not be included on the agenda, and are hereby rejected, and will be returned to the applicant.
  - d) Upon receipt of a Staff Recommendation report approving the project the balance of the applications with plans and documents, need to be submitted to the Building Department for distribution to the Board Members and Staff. The Building Dept. shall retain all originals for the records. At that time the applicant's request will be placed on the Agenda for approval by the B.R.A.B. Board Members.
4. After approval of the item by the Board, You will also need to retain a copy of the BRAB approved application package with the minutes for submission at the time of the permit application. Make sure to request a copy of the minutes on the 3rd Tuesday of the following month of your approval.
5. If a Variance: A Notice of Hearing for variance will be mailed no later than 10 days before the date of meeting, as per Town Code.
6. Variance have a two step process: The Building Advisory Board is a recommendation Board to the Town Council – The Town Council is the ultimate authority on Granting or Denial of Variance requests. The Town council will hear your requests for the Variance at the next hearing, it is at that Hearing that the Town Council will either approve or deny your requests. Someone needs to be present at the meeting. The Town Council meetings are held every 3rd Tuesday of every month.
7. After approval of the item by the Board, The Resolutions approving your variance will need to be prepared and you will be notified when they are ready to be picked up and get recorded with the Miami Dade County Clerk's recording office. You will need to forward us a Certified copy of recorded Resolutions and retain a copy for your records.
8. Required for permitting: A copy of the Certified copy of recorded Resolutions and BRAB approved application package along with the minutes.



**TOWN OF GOLDEN BEACH  
BUILDING REGULATION ADVISORY BOARD  
SCHEDULE OF FEES**

Appropriate fee shall be paid at time of application you will be charged for each item included in the plans. These fees are not refundable.

<u>Type of request</u>	<u>Fee</u>	<u>Qty</u>
1. New single-family residence- per submittal and resubmittal	\$700.00	<u>X</u>
2. Addition/Remodel of existing structure- per submittal and resubmittal	\$225.00	<u>X</u>
3. Accessory Building (Cabana, Pergola, or Gazebo) - per submittal and resubmittal	\$150.00	<u>X</u>
4. Pools, Spas and Water Features - per submittal and resubmittal	\$100.00	<u>X</u>
5. Fencing, site walls, driveways, pool decks - for each item per submittal and resubmittal	\$150.00	<u>X</u>
6. Seawalls and docks - for each item, per submittal and resubmittal	\$200.00	_____
7. Boat Lift- per submittal and resubmittal	\$100.00	_____
8. Landscape plan review is required for new construction, addition and remodeling projects (submit plans with site plan elevations separate from the building plan approval package).	\$300.00	<u>X</u>
9. Resubmissions, based on original fee paid	75.0%	_____
10. Zoning Variances and special exceptions, per variance or exception:		
a. First variance/ exception. ....	\$750.00	<u>X</u>
b. Per additional variance/exception, for the same initial variance (example: request for a dock, affecting two different codes	\$200.00	_____
c. When a variance is granted, the property owner, at his expense, shall have the resolution for the variance recorded in the public records of Miami-Dade county, and two (2) certified copies of the recorded resolution shall be submitted to the Town for inclusion into the property records		
d. If the Town Council grants a variance, a building permit must be secured within two years of the approval date or the variance will become null and void		
11. Request to the Board for verification of any section of the Zoning Code, For each Section to be verified	\$100.00	_____

**TOWN OF GOLDEN BEACH  
BUILDING REGULATION ADVISORY BOARD  
SCHEDULE OF FEES**

12. Application for the legalization of construction built without the approval of the B.R.A.B., when the Board should have approved such construction, will be assessed a fee equal to four (4) times the regular fee applicable to the matter.

13. Special Requests for a meeting, variance, or waiver of plat hearing:

- a. For matters that have been heard, but the process had not been completed, i.e., tabled subjects, or unfinished subjects to be continued, the applicant must notify the Building & Zoning Department in writing if they would like the item continued

If the notification is received by the Department before the deadline for the next B.R.A.B. meeting, there will be no charge for the continuance. If the notification is received after the deadline, and the applicant still wants the matter included in the agenda for the next meeting, there will be a special fee of

\$200.00 \_\_\_\_\_

- b. If the agenda has already been prepared and the applicant wants the matter to be heard, the request must be received in writing to be added to the agenda at the beginning of the meeting with the approval of the Building Official or Building & Zoning Director. There will be a special fee of

\$200.00 \_\_\_\_\_

- c. When a special meeting or hearing of the B.R.A.B. is requested by an applicant, for either a new matter or continuance of a subject already heard, there will be a special fee for a 2 hour time period of

\$500.00 \_\_\_\_\_

If the time limit is exceeded, an additional fee of ½ of the fee will be assessed for the second time period

\$250.00 \_\_\_\_\_

# **TOWN OF GOLDEN BEACH BUILDING REGULATORY ADVISORYBOARD APPLICATION and REVIEW PROCEDURE**

Thank you for applying to the Building Advisory Board for approval of your project. Below is a brief guideline on how the application review process works and what can be expected. The attached application form contains additional guidelines and information pertinent to your submittal. Please follow all directions contained within the application prior to submitting your package to our office:

## **Submittal**

Submit your completed application package to the Town by the required deadlines which are available on the Town's website at [www.goldenbeach.us](http://www.goldenbeach.us).

Upon receipt of your application and within the first week after you submit, the Town's zoning and landscape reviewers will perform their first review. Following their review you will receive reports for an approval or comments requesting additional information and/or needed corrections to your plans and/or your application.

## **Reports**

Two basic types of reports can be issued under a zoning and landscape review; the first report that may be issued will list code deficiencies, if any, as the zoning and landscape reviewer sees them in relationship to the Town's current Zoning Code, the report for zoning will be entitled "Planning and Zoning Comments". This process will continue each time updated information is received and until all issues have been addressed.

After all deficiencies have been addressed and the zoning and Landscape reviewers do not find any deficiencies then a second report will be issued entitled "Town of Golden Beach – Community Development Memorandum" this report is the clearance memorandum to allow the item to move forward and be placed on the Agenda for possible approval by the Board. You will receive two separate reports one from zoning and one from landscaping.

## **Deadlines - Agenda Placement**

A positive review prior to the meeting is required in order for your application to be placed on the Agenda. As with all applications sufficient time is needed by the Town's reviewers and staff for processing prior to the item moving forward for placement on the Agenda.

Your application will require a satisfactory review within the seven days prior to the scheduled meeting in order to be placed on the Agenda. If a satisfactory recommendation is not received within the time period specified, then the application will be tabled to the next Building Advisory Board meeting in the next month, pending approval of the application. Building Advisory Board meetings are scheduled for the Second Tuesday of each month pending quorum. All notifications will be sent via email on the progress of your application and the Board's ability to meet.

## **Special Note**

Simple applications might not receive comment sheets and will move directly to a "Town of Golden Beach – Community Development Memorandum" mentioned in the previous paragraph allowing the item to be placed on the Agenda to be heard by the Board.

## **Notice**

If submittals have been inactive for 90 days or more, they will automatically be placed on inactive status and new submittals will be required.

GREGORY M COGAN TRS  
FLORIDA LAND TRUST NO 1GB  
151 TREMONT ST STE 110 PMB 392  
BOSTON, MA 02111

NRE MIAMI CORP  
1925 BRICKELL AVE D205  
MIAMI, FL 33129

VICTORIA LESOV  
MATVAY LESOV  
3944 194 TRAIL  
GOLDEN BEACH, FL 33160

JAN A MARKS TRS  
307 OCEAN BOULEVARD TR  
1001 LIBERTY AVE STE 1150  
PITTSBURGH, PA 15222

COMMUNICATION MARKETING  
RESOURCES INC  
20281 E COUNTRY CLUB DR  
MIAMI, FL 33180-3010

NATACHA LEA HEYMAN  
DAVID BEN AIM  
274 OCEAN BLVD  
GOLDEN BEACH, FL 33160

RONALD N TUTOR TRS  
TUTOR MARITAL PROPERTY TR  
ALIA TUTOR TRS  
317 OCEAN BLVD  
GOLDEN BEACH, FL 33160

SHARON LIOR  
346 OCEAN BLVD  
GOLDEN BEACH, FL 33160-2212

JACOB KIFERBAUM  
SANDRA KIFERBAUM  
266 OCEAN DR  
GOLDEN BEACH, FL 33160

BRUCE WEBER & NAN BUSH  
325 OCEAN BLVD  
GOLDEN BEACH, FL 33160-2211

MICHAEL ABRAMOWITZ  
DEBBIE ABRAMOWITZ  
340 OCEAN BLVD  
GOLDEN BEACH, FL 33160

YD NYACK INC  
11 ORCHARD ST  
NYACK, NY 10960

EDITH NEWMAN  
355 OCEAN BLVD  
GOLDEN BEACH, FL 33160-2211

BRUCE WEBER  
NAN BUSH  
325 OCEAN BLVD  
GOLDEN BEACH, FL 33160

CENTRAL PARK TOWER CORP  
C/O JENNIFER LEVIN ESQ  
20295 NE 29 PL STE 200  
AVENTURA, FL 33180

BRUCE WEBER & NAN BUSH  
325 OCEAN BLVD  
GOLDEN BEACH, FL 33160-2211

DIDIER ZERBIB  
250 OCEAN BLVD  
GOLDEN BEACH, FL 33160

OCEAN BLVD GOLDEN LLC  
251 LITTLE FALLS DR  
WILMINGTON, DE 19808

SK INVEST GROUP LLC  
17100 N BAY RD 1612  
SUNNY ISLES BEACH, FL 33160

AIDA E MARTINEZ (TRUST)  
HUGO L & AIDA E MARTINEZ TRS  
380 OCEAN BLVD  
GOLDEN BEACH, FL 33160-2212

LUNA ROCK INVESTMENTS LLC  
3267 NE 212 ST  
AVENTURA, FL 33180

BRADLEY I MEIER  
229 OCEAN BLVD  
GOLDEN BEACH, FL 33160

LINDA G BROWN TRS  
LIINDA GAIL BROWN LIVING TRUS  
370 OCEAN BLVD  
GOLDEN BEACH, FL 33160

ANIL SETHI  
MEENU SETHI  
296 OCEAN BLVD  
GOLDEN BEACH, FL 33160

PHILIP YANG & W MARIA  
1435 PHEASANT RUN CIRCLE  
YARDLEY, PA 19067

JOSE RAFAEL BADELL  
MARIA GRAU  
364 OCEAN BLVD  
GOLDEN BEACH, FL 33160

MATTHEW ALLEN  
288 OCEAN BLVD  
GOLDEN BEACH, FL 33160

255 OB LLC  
18200 NE 19 AVE 101  
NORTH MIAMI BEACH, FL 33162

SAMUEL OHEV ZION  
MICHELLE BITTMAN  
263 OCEAN BLVD  
GOLDEN BEACH, FL 33160

BENJAMIN SHIRAZIPOUR  
ANNA SHIRAZIPOUR  
275 OCEAN BLVD  
GOLDEN BEACH, FL 33160

JEREMY ALTERS TRS  
JEREMY ALTERS REV TRUST AGREEMENT  
JEREMY ALTERS  
277 OCEAN BLVD  
GOLDEN BEACH, FL 33160





**TOWN OF GOLDEN BEACH  
100 OCEAN BOULEVARD  
Golden Beach, Fl. 33160**

**SUMMARY MINUTES (DRAFT)  
BUILDING REGULATION ADVISORY BOARD  
May 14, 2024, at 6pm**

**Zoom Meeting ID: 892 9110 8015 Passcode: 752288 For Dial in only call: 929-205-6099.**

- A. CALL MEETING TO ORDER:** 6:10pm
- B. BOARD ATTENDANCE:** Zvi Shiff, Isaac Murciano, Michael Klinger, and Stephanie Halfen
- C. STAFF ATTENDANCE:** Linda Epperson-Asst Town Manager, Christopher Gratz-Zoning Reviewer/Planner, Lissett Rovira-Building Dept. Manager,
- D. APPROVAL OF MINUTES:** April 9, 2024

Motion to approve the minutes by Zvi Shiff, Seconded by Michael Klinger  
All were in favor – no one opposed  
Motion passed 4 – 0

**E. REQUEST FOR ADDITIONS, DEFERRALS, DELETIONS & WITHDRAWALS:**

- 1. 310 South Parkway LLC-  
310 South Parkway  
Golden Beach, FL 33160

Property Address: 310 South Parkway, Golden Beach, FL, 33160  
Folio No: 19-1235-005-0590  
Legal Description: Lot 31 & 32, Block G, GB Sect E, PB 8-122

Installation dock replacement & seawall repair.

Motion to delete this item from the agenda was made by Zvi Shiff, Seconded by Michael Klinger  
All were in favor – no one opposed  
Motion passed 4 – 0

- 2. David Pratt Esq Trs  
The Cypress House Trust  
422 Golden Beach Drive  
Golden Beach, Fl 33160

Property Address: 422 Golden Beach Drive, Golden Beach, FL, 33160  
Folio No: 19-1235-005-0010  
Legal Description: Lot 45 & N1/2 of Lot 46 Blk F Less Beg NW COR Lot 1

Installation of a new floating dock.

- 3. Caren Sredni Trs  
540 North Parkway  
Golden Beach, FL 33160

Property Address: 540 North Parkway, Golden Beach, FL, 33160  
Folio No: 19-1235-006-0860  
Legal Description: Lot 10-11, Block M, GB Sect F, PB 10-11

Installation dock replacement & seawall repair.

4. Gregory M Cogan Trs  
Florida Land Trust No 1gb  
151 Tremont St Ste 110  
Boston, Ma 02111

Property Address: 291, 287, and 299 Ocean Boulevard, Golden Beach, FL, 33160  
(Through Unity of Title)  
Folio No: 19-1235-003-0310, 003-0290, 002-0500  
Legal Description: Lot 20, N ½ of Lot 40, All Lot 41, 42, 43, and 44, Blk A & B, GB  
Sec C PB 9-52

Construction of a new single-family residence and landscape design approval.

5. Manuel Grosskopf  
Mariana Grosskopf Levi  
284 South Island Drive  
Golden Beach, FL. 33160

Property Address: 284 South Island Drive, Golden Beach, FL. 33160  
Folio No.: 19-1235-004-0840  
Legal Description: Lot 51 to 53, Blk J, GB Sect D, PB 10 – 10

Construction of a new sing-family residence and landscape design approval

6. Jonathan A. Kessler  
Cathie L. Pass  
633 Golden Beach Drive  
Golden Beach, FL. 33160

Property Address: 633 Golden Beach Drive, Golden Beach, FL. 33160  
Folio No.: 19-1235-006-1020  
Legal Description: Lots 32 & 33, & S 7.5' of lot 31, Blk 1, GB Sect F, PB 10-11

Construction of new single-family residence and landscape design approval

7. Avi Benayoun  
Leigh Sherman  
615 Golden Beach Drive  
Golden Beach, FL. 33160

Property Address: 615 Golden Beach Drive, Golden Beach, FL. 33160  
Folio No.: 19-1235-006-0160  
Legal Description: Lots 36 & 37, Blk 1, GB Sect F, PB 10-11

8. Blaise Matuidi and Isabelle Helene Marie Matuidi  
560 Ocean Blvd.,  
Golden Beach, FL. 33160

Property Address: 560 Ocean Blvd, Golden Beach, FL. 33160  
Folio No.: 19-1235-001-0251  
Legal Description: Lots 6 through 8, Blk 2, GB Section A, PB 9-52

Construction of an accessory structure.

A motion to defer items 2 – 8 was made by Zvi Shiff, Seconded by Michael Klinger.  
All were in favor – no one opposed.  
Motion passed 4 – 0

**F. VARIANCE REQUEST(S):**

9. Gregory M Cogan Trs  
Florida Land Trust No 1gb  
151 Tremont St Ste 110  
Boston, Ma 02111

Christopher Gratz summarized his report into the record.  
Mickey Marrero - Bercow Radell Fernandez Larkin + Tapanes spoke on behalf of the applicant.

Property Address: 291, 287, and 299 Ocean Boulevard, Golden Beach, FL, 33160  
(Through Unity of Title)  
Folio No: 19-1235-003-0310, 003-0290, 002-0500  
Legal Description: Lot 20, N ½ of Lot 40, All Lot 41, 42, 43, and 44, Blk A & B, GB Sec C PB 9-52

Construction of a new single-family residence and landscape design approval.

Relief from Town Code Section 66-102(a) which requires the finished grade of any lot not to exceed and elevation of six feet NGVD, except for lots abutting Ocean Boulevard where the minimum elevation shall be 12 inches above the crown of the road, and the maximum elevation shall not exceed an elevation of 11 feet NGVD.

Request is to allow the finished grade of the lot to be at 13' NGVD.

In accordance with Town Code Section 66-41, "authorized, general procedure", pertaining to variances, the board considered all evidence and testimony presented by the applicant, the public and the Town and made a finding that the applicant has complied with the seven criteria

A motion to recommend approval was made by Zvi Shiff, Seconded by Michael Klinger  
On roll call: Zvi Shiff-Aye, Isaac Murciano-Aye, Michael Klinger-Aye, and Stephanie Halfen-Aye  
Motion passed 4 – 0

**G. OLD BUSINESS:**

10. 101 Ocean Blvd LLC  
101 Ocean Blvd  
Golden Beach, Fl 33160

Stephanie Halfen recused herself from voting on this item.

Christopher Gratz summarized his report into the record  
Stephanie Halfen, Architect for the project spoke on behalf of the applicant.

Property Address: 101 Ocean Boulevard, Golden Beach, FL, 33160  
Folio No: 19-1235-003-0010  
Legal Description: Lot 1 Less Beg NW COR Lot 1

Construction of a new single-family residence, covered terrace, pool, cabana, and roof top terrace and landscape design approval.

A motion was made by Zvi Shiff to approve the project, Seconded by Michael Klinger  
On roll call Zvi Shiff-Aye, Isaac Murciano-Aye, and Michael Klinger-Aye  
Motion passed 3 – 0

11. Mark Feldman and Colette B. Feldman  
138 South Island Drive  
Golden Beach, FL. 33160

Christopher Gratz summarized his report into the record.  
Bill Thomas – Approved Permit Services, spoke on behalf of the applicant.

Property Address: 138 South Island Drive, Golden Beach, FL 33160  
Folio No: 19-1235-004-0540  
Legal Description: Lot 12, Blk J, GB Sect D, PB 10-10

Installation of a new seawall and dock.

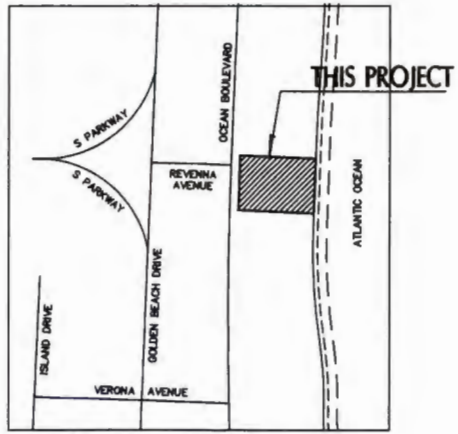
A motion was made by Zvi Shiff to approve this item, Seconded by Michael Klinger  
On roll call: Zvi Shiff-Aye, Isaac Murciano-Aye, Michael Klinger-Aye, and Stephanie Halfen-Aye  
Motion passed 4 – 0

## **H. NEW BUSINESS**

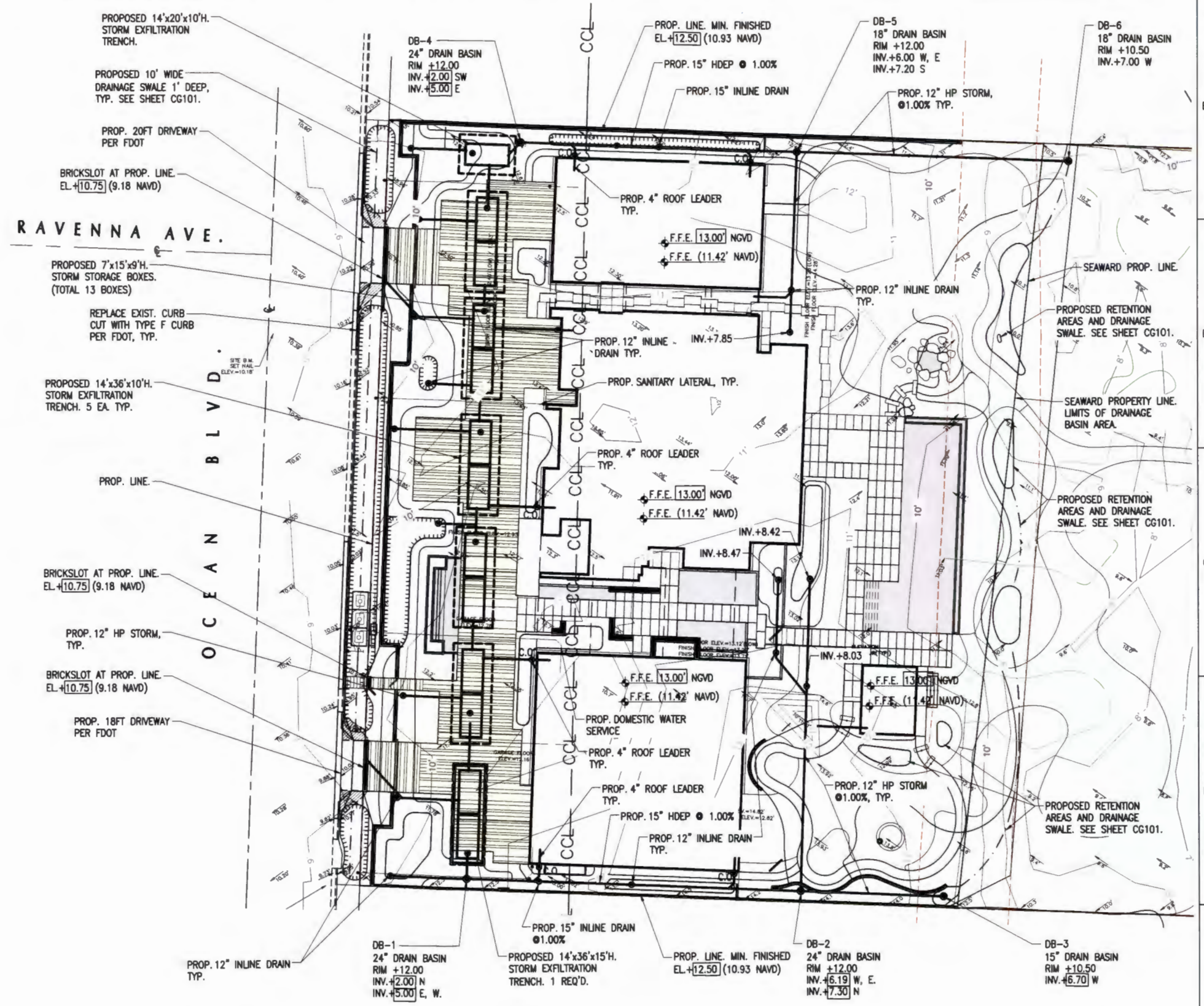
## **I. ADJOURNMENT.**

PURSUANT TO FLA. STATUTE 286.0105, THE TOWN HEREBY ADVISES THE PUBLIC THAT: IF A PERSON DECIDES TO APPEAL ANY DECISION MADE BY THIS BOARD WITH RESPECT TO ANY MATTER CONSIDERED AT ITS MEETING OR HEARING, HE WILL NEED A RECORD OF THE PROCEEDINGS, AND FOR THAT SUCH PURPOSE, AFFECTED PERSONS MAY NEED TO ENSURE THAT A VERBATIM RECORD OF THE PROCEEDINGS IS MADE, WHICH RECORD INCLUDES THE TESTIMONY AND EVIDENCE UPON WHICH THE APPEAL IS TO BE BASED. THIS NOTICE DOES NOT CONSTITUTE CONSENT BY THE TOWN FOR THE INTRODUCTION OR ADMISSION OF OTHER INADMISSIBLE OR IRRELEVANT EVIDENCE, NOR DOES I

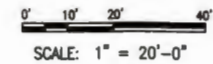




**LOCATION MAP**  
NO SCALE



LEGEND	
GRADING ELEVATIONS	
EXISTING	PROPOSED
N/A	
N/A	
N/A	



**PROPOSED DRAINAGE SITE PLAN**  
SCALE: 1"=20'

**OCEAN RESIDENCE**  
287, 291, 299 Ocean Blvd.  
Golden Beach, FL 33160

**COASTAL SYSTEMS INTERNATIONAL**  
464 South Dixie Highway  
Coral Gables, Florida 33146  
Tel: 305-661-3655  
Fax: 305-661-1914  
www.CoastalSystemsInt.com  
State of Florida EB #7087  
Coastal, Environmental,  
Civil Engineering and Management  
CONSULTANTS

ISSUE	DATE	DESCRIPTION
	04/18/24	TOWN SUBMITTAL
	02/28/24	TOWN SUBMITTAL
	01/22/24	TOWN SUBMITTAL
	11/01/23	30% DD SET

PROJECT NO: 314706  
DATUM: AS SHOWN  
DRAWN BY: OB/YM  
CHECKED BY: JAO/OB

R. HARVEY SASSO  
DATE: 4/18/2024

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RONALD HARVEY SASSO ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

**DRAINAGE PLAN**

CD101



OCEAN RESIDENCE  
287, 291, 299 Ocean Blvd.  
Golden Beach, FL 33160



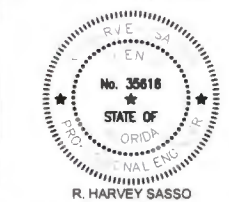
464 South Dixie Highway  
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Tel: 305-661-3655  
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CONSULTANTS

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11/01/23	30% DD SET

PROJECT NO: 314706  
DATUM: AS SHOWN  
DRAWN BY: OB/YM  
CHECKED BY: JAO/OB

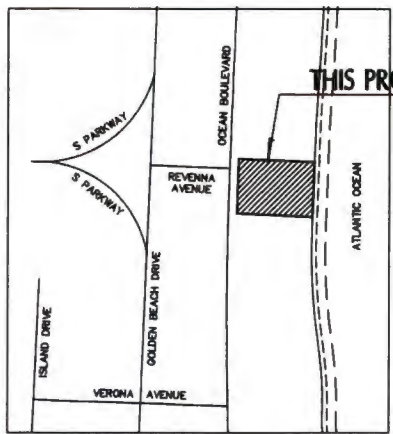
ENGINEER OF RECORD



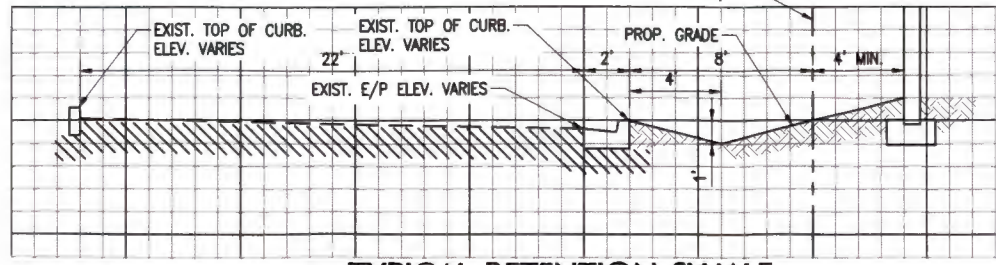
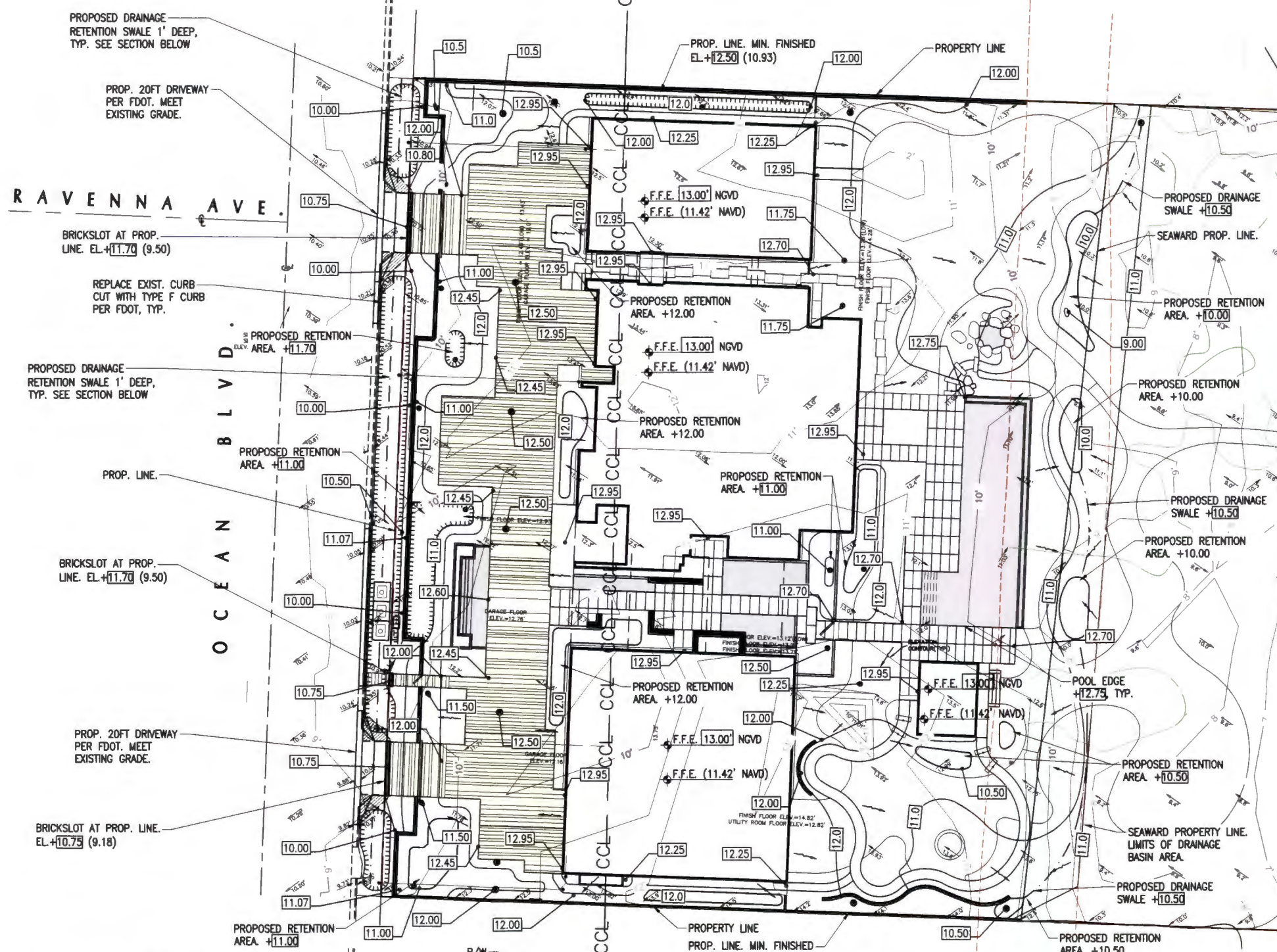
R. HARVEY SASSO  
DATE: 4/18/2024  
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RONALD HARVEY SASSO ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

GRADING PLAN

CG101



LOCATION MAP  
NO SCALE

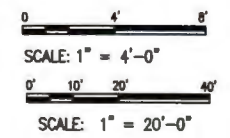


TYPICAL RETENTION SWALE  
SCALE: 1"=4'

PROPOSED GRADING SITE PLAN  
SCALE: 1"=20'

**LEGEND**

GRADING ELEVATIONS	
EXISTING	PROPOSED
10.28	12.95
N/A	GRADES NAVD
N/A	DIRECTION OF RUNOFF







**[STRANG]**

2900 SW 28TH TERRACE,  
SUITE 301, MIAMI, FL 33133  
PH: 305-373-4900  
ARCHITECT LICENSE NO. AR100970  
WWW.STRANG.DESIGN

**PROJECT LOCATION:**  
299 OCEAN BLVD,  
GOLDEN BEACH, FL 33160

**PROJECT CLIENT(S) / OWNER(S):**  
PHILIP T. & SUSAN RAGON

**ARCHITECT:**  
STRANG DESIGN, LLC  
FIRM LICENSE #AA26001123  
2900 SW 28TH TERRACE  
SUITE 301, MIAMI, FL 33133  
ADR LICENSE #: AR100970

**CIVIL ENGINEER:**  
COASTAL SYSTEMS  
INTERNATIONAL, INC.  
484 S DIXIE HWY,  
CORAL GABLES, FL  
PH: 305-661-3655

**STRUCTURAL ENGINEER:**  
TBD

**MEP ENGINEER:**  
TBD

**LANDSCAPE ARCHITECT:**  
RAYMOND JUNGLES, INC.  
LICENSE #RLA-0856  
2964 AVIATION AVE,  
MIAMI, FL 33133  
PH: 305-858-6777

**GENERAL CONTRACTOR**  
TBD

**PROFESSIONAL SEAL(S):**

**LANDSCAPE ARCHITECT:**  
RAYMOND L JUNGLES  
LICENSE NO: LA0000856

**OCEAN RESIDENCE**

Issue Description:  
**DESIGN DEVELOPMENT SET**

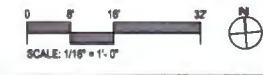
Revision Schedule	
#	DESCRIPTION

**CONFIDENTIALITY NOTICE:**  
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Issue Date: **04/19/2024**

SHEET TITLE  
**SURVEY AND AERIAL UNDERLAY**

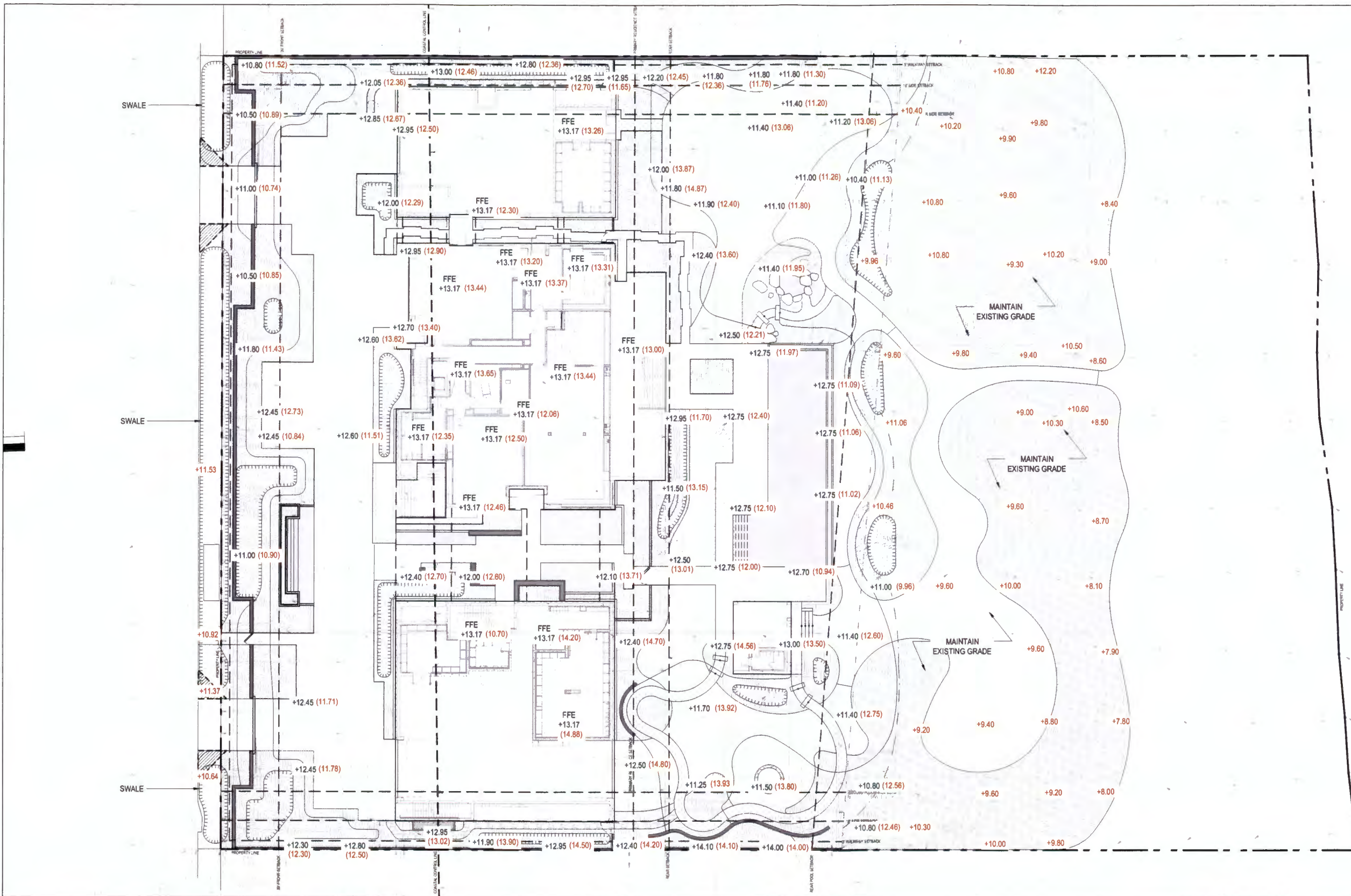
SHEET NUMBER  
**L010**





#	DATE	DESCRIPTION

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**LEGEND**

**PROPERTY LINE**  
— — — — —

**SETBACK**  
— — — — —

**ROOF OVERHANG**  
— — — — —

**PROPOSED CONTOUR MAJOR**  
———

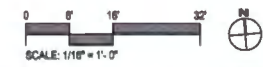
**PROPOSED CONTOUR MINOR**  
- - - - -

**SRA (SHALLOW RETENTION AREA)**

**EXISTING SPOT ELEVATION (N.G.V.D.)**  
00.00

**DIRECTION OF SLOPE**

**PROPOSED SPOT ELEVATION (N.G.V.D.)**  
+00.00





# STRANG

2900 SW 28TH TERRACE,  
SUITE 301, MIAMI, FL 33133  
PH: 305-373-4990  
ARCHITECT LICENSE NO: AR100970  
WWW.STRANG.DESIGN

**PROJECT LOCATION:**  
299 OCEAN BLVD.  
GOLDEN BEACH, FL 33160

**PROJECT CLIENT(S) / OWNER(S):**  
PHILLIP T. & SUSAN RAGON

**ARCHITECT:**  
STRANG DESIGN, LLC  
FIRM LICENSE #AA26001123  
2900 SW 28TH TERRACE  
SUITE 301, MIAMI, FL 33133  
AOR LICENSE #: AR100970

**CIVIL ENGINEER:**  
COASTAL SYSTEMS  
INTERNATIONAL, INC.  
494 S DIXIE HWY  
CORAL GABLES, FL  
PH: 305-661-3655

**STRUCTURAL ENGINEER:**  
TBD

**MEP ENGINEER:**  
TBD

**LANDSCAPE ARCHITECT:**  
RAYMOND JUNGLES, INC.  
LICENSE #RLA-0656  
2964 AVIATION AVE.  
MIAMI, FL 33133  
PH: 305-858-6777  
**GENERAL CONTRACTOR**  
TBD

**PROFESSIONAL SEAL(S):**

**LANDSCAPE ARCHITECT:**  
RAYMOND JUNGLES  
LICENSE NO: LA0000856

**OCEAN RESIDENCE**

Issue Description:  
**DESIGN DEVELOPMENT SET**

Revision Schedule

#	DATE	DESCRIPTION

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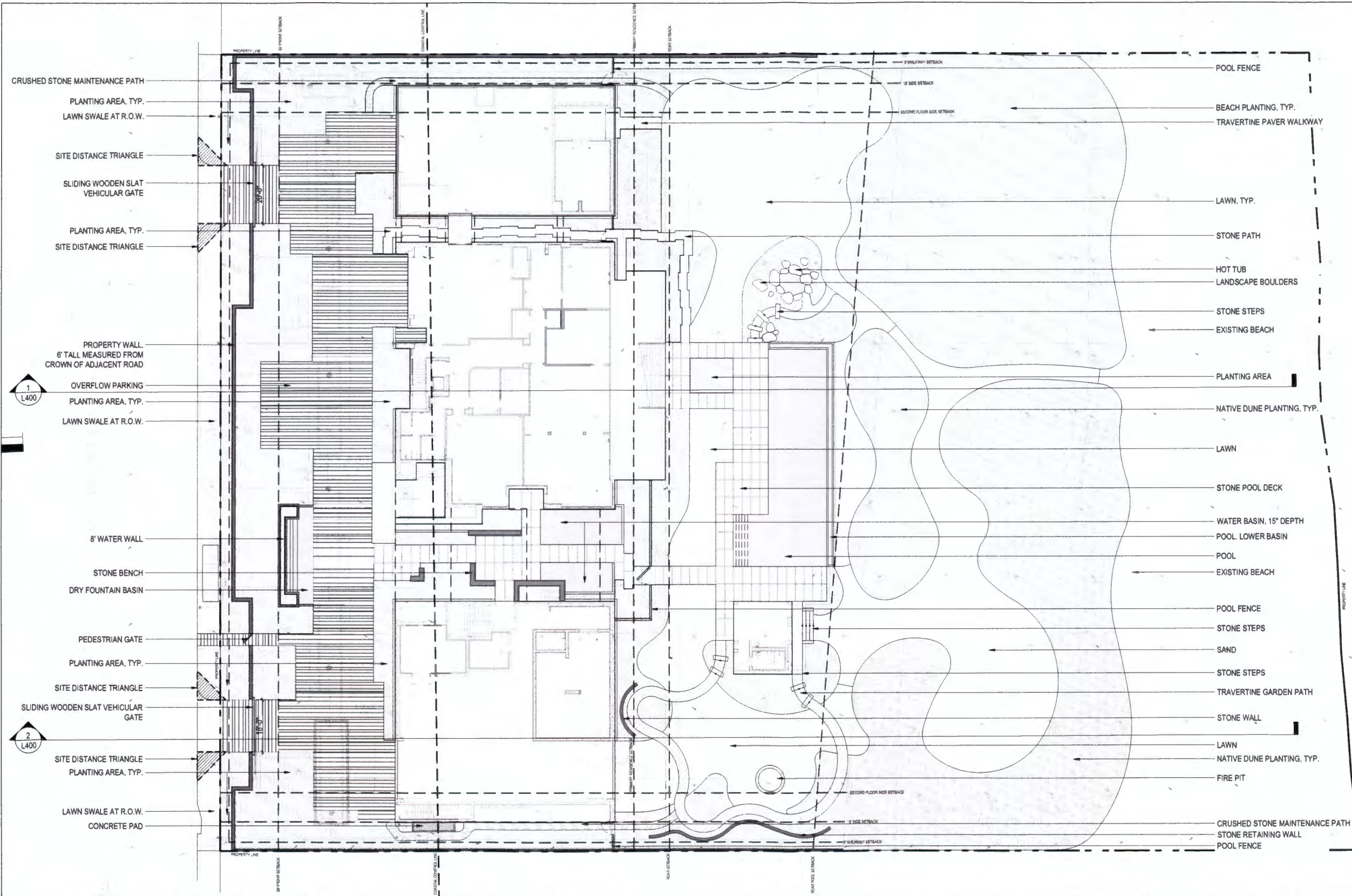
Issue Date: **04/19/2024**

SHEET TITLE

**HARDSCAPE PLAN**

SHEET NUMBER

**L200**



CRUSHED STONE MAINTENANCE PATH  
PLANTING AREA, TYP.  
LAWN SWALE AT R.O.W.  
SITE DISTANCE TRIANGLE  
SLIDING WOODEN SLAT VEHICULAR GATE  
PLANTING AREA, TYP.  
SITE DISTANCE TRIANGLE  
PROPERTY WALL, 6' TALL MEASURED FROM CROWN OF ADJACENT ROAD  
OVERFLOW PARKING  
PLANTING AREA, TYP.  
LAWN SWALE AT R.O.W.  
8' WATER WALL  
STONE BENCH  
DRY FOUNTAIN BASIN  
PEDESTRIAN GATE  
PLANTING AREA, TYP.  
SITE DISTANCE TRIANGLE  
SLIDING WOODEN SLAT VEHICULAR GATE  
SITE DISTANCE TRIANGLE  
PLANTING AREA, TYP.  
LAWN SWALE AT R.O.W.  
CONCRETE PAD

POOL FENCE  
BEACH PLANTING, TYP.  
TRAVERTINE PAVER WALKWAY  
LAWN, TYP.  
STONE PATH  
HOT TUB  
LANDSCAPE BOULDERS  
STONE STEPS  
EXISTING BEACH  
PLANTING AREA  
NATIVE DUNE PLANTING, TYP.  
LAWN  
STONE POOL DECK  
WATER BASIN, 15" DEPTH  
POOL, LOWER BASIN  
POOL  
EXISTING BEACH  
POOL FENCE  
STONE STEPS  
SAND  
STONE STEPS  
TRAVERTINE GARDEN PATH  
STONE WALL  
LAWN  
NATIVE DUNE PLANTING, TYP.  
FIRE PIT  
CRUSHED STONE MAINTENANCE PATH  
STONE RETAINING WALL  
POOL FENCE

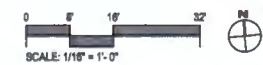
## LEGEND

PROPERTY LINE						
LANDSCAPE AREA	LAWN	STONE BENCH	TRAVERTINE PATH	CRUSHED STONE PATH	SAND	PROPERTY WALL
WATER	STONE PAVEMENT	POOL FENCE	POOL FENCE GATE	LANDSCAPE BOULDERS	PROPERTY WALL	

**GENERAL NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR CALCULATING / VERIFYING ALL QUANTITIES.
- GENERAL CONTRACTOR SHALL SUBMIT, OBTAIN AND KEEP RECORDS OF ALL PERMITTING REQUIRED BY LOCAL CODES.
- PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL LOCATE ALL UTILITIES USING "SUNSHINE 811". UTILITIES SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
- ALL MATERIALS ARE TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT.
- ALL ELEMENTS SHALL BE MOCKED-UP FOR CLIENT AND LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL. CONTRACTOR TO REWORK MOCK-UP AS NECESSARY FOR APPROVAL. MAINTAIN APPROVED MOCK-UP FOR COMPARISON OF FINISHED WORK.

- ALL MATERIALS AND ELEMENTS LOCATION / LAYOUT SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT SHALL BE PROVIDED 3 WEEKS NOTIFICATION IN ADVANCE OF LAYOUT WORK. TO APPROVE ON-SITE FORM WORK, PRIOR TO FABRICATION.
- SWIMMING POOL, SPA, WATER FEATURES, WATER DEPTHS, STEPS, LADDERS, HANDRAILS, SUBMERGED POOL LIGHTING, POOL DECK AREA LIGHTING, ETC. AS INDICATED HEREIN THE DRAWINGS ARE DELINEATED FOR USE AS A CONCEPTUAL DESIGN GUIDELINE AND FOR REFERENCE. ALL IMPROVEMENTS INCLUDING REQUIRED ENGINEERING DESIGN DOCUMENTS SHALL BE PROVIDED. CONSTRUCTED AND/OR INSTALLED BY THE GENERAL CONTRACTOR AND POOL SUBCONTRACTOR AS REQUIRED TO ENSURE COMPLIANCE WITH FLORIDA BUILDING CODE. CHAPTER 64E-9: PUBLIC SWIMMING POOLS AND BATHING PLACES, LATEST EDITIONS.
- ALL IMPROVEMENTS INCLUDING REQUIRED ENGINEERING DESIGN DOCUMENTS SHALL BE PROVIDED. CONSTRUCTED AND/OR INSTALLED BY THE GENERAL CONTRACTOR AND POOL SUBCONTRACTOR AS REQUIRED TO ENSURE COMPLIANCE WITH FLORIDA BUILDING CODE. CHAPTER 64E-9: PUBLIC SWIMMING POOLS AND BATHING PLACES, LATEST EDITIONS.





LOT AREA: 104,579 SF  
 PERVIOUS PLANTING AREA: 36,187 SF  
 PERVIOUS LAWN AREA: 8,570 SF  
 PERVIOUS GRAVEL WALKWAY: 570 SF  
 PERVIOUS SAND SURFACE: 4,488 SF  
 TOTAL PERVIOUS AREA: 49,825 SF  
 PERCENTAGE OF PERVIOUS AREA: 47.64%

# STRANG

2900 SW 28TH TERRACE,  
 SUITE 301, MIAMI, FL 33133  
 PH: 305-373-4990  
 ARCHITECT LICENSE NO: AR100970  
 WWW.STRANG.DESIGN

**PROJECT LOCATION:**  
 299 OCEAN BLVD,  
 GOLDEN BEACH, FL 33160

**PROJECT CLIENT(S) / OWNER(S):**  
 PHILLIP T. & SUSAN RAGON

**ARCHITECT:**  
 STRANG DESIGN, LLC  
 FIRM LICENSE #AA26001123  
 2900 SW 28TH TERRACE  
 SUITE 301, MIAMI, FL 33133  
 AQR LICENSE # AR100970

**CIVIL ENGINEER:**  
 COASTAL SYSTEMS  
 INTERNATIONAL, INC.  
 464 S DIXIE HWY,  
 CORAL GABLES, FL  
 PH: 305-661-3655

**STRUCTURAL ENGINEER:**  
 TBD

**MEP ENGINEER:**  
 TBD

**LANDSCAPE ARCHITECT:**  
 RAYMOND JUNGLES, INC.  
 LICENSE #RLA-0856  
 2964 AVIATION AVE,  
 MIAMI, FL 33133  
 PH: 305-858-6777

**GENERAL CONTRACTOR**  
 TBD

**PROFESSIONAL SEAL(S):**

**LANDSCAPE ARCHITECT:**  
 RAYMOND JUNGLES  
 LICENSE NO: LA0000856

## OCEAN RESIDENCE

Issue Description:  
**DESIGN DEVELOPMENT SET**

Revision Schedule		
#	DATE	DESCRIPTION

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Issue Date: **04/19/2024**

SHEET TITLE

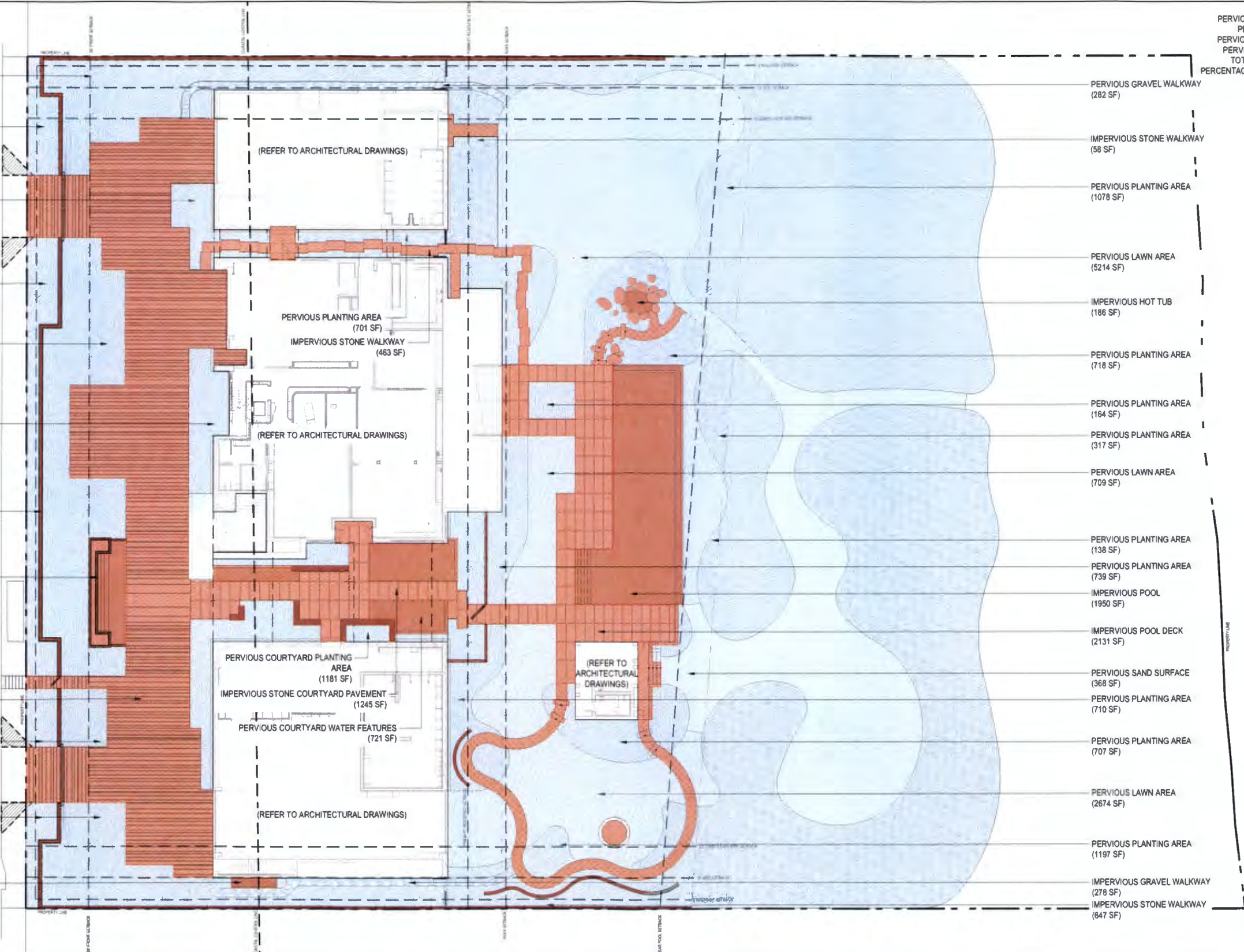
**PERVIOUS SURFACE PLAN**

SHEET NUMBER

**L201**

- PERVIOUS PLANTING AREA (2542 SF)
- PERVIOUS PLANTING AREA (298 SF)
- PERVIOUS PLANTING AREA (577 SF)
- PERVIOUS PLANTING AREA (776 SF)
- PERVIOUS PLANTING AREA (653 SF)
- PERVIOUS PLANTING AREA (653 SF)
- IMPERVIOUS SITE WALLS (653 SF)
- IMPERVIOUS WATER WALL (417 SF)
- IMPERVIOUS STONE DRIVEWAY (7815 SF)
- PERVIOUS PLANTING AREA (604 SF)
- PERVIOUS PLANTING AREA (1715 SF)
- IMPERVIOUS CONCRETE PAD (44 SF)

- PERVIOUS GRAVEL WALKWAY (282 SF)
- IMPERVIOUS STONE WALKWAY (58 SF)
- PERVIOUS PLANTING AREA (1078 SF)
- PERVIOUS LAWN AREA (5214 SF)
- IMPERVIOUS HOT TUB (186 SF)
- PERVIOUS PLANTING AREA (718 SF)
- PERVIOUS PLANTING AREA (164 SF)
- PERVIOUS PLANTING AREA (317 SF)
- PERVIOUS LAWN AREA (709 SF)
- PERVIOUS PLANTING AREA (138 SF)
- PERVIOUS PLANTING AREA (739 SF)
- IMPERVIOUS POOL (1950 SF)
- IMPERVIOUS POOL DECK (2131 SF)
- PERVIOUS SAND SURFACE (368 SF)
- PERVIOUS PLANTING AREA (710 SF)
- PERVIOUS PLANTING AREA (707 SF)
- PERVIOUS LAWN AREA (2674 SF)
- PERVIOUS PLANTING AREA (1197 SF)
- IMPERVIOUS GRAVEL WALKWAY (278 SF)
- IMPERVIOUS STONE WALKWAY (647 SF)



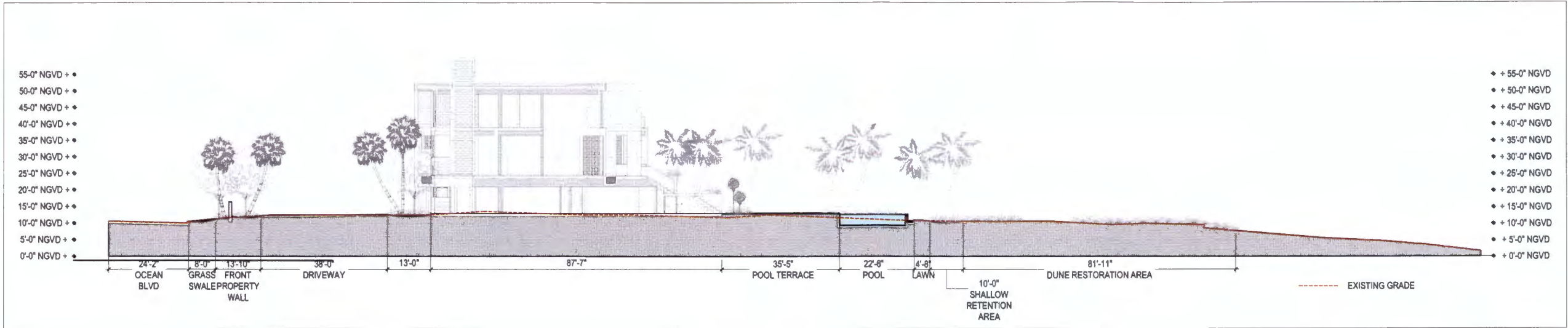
### LEGEND



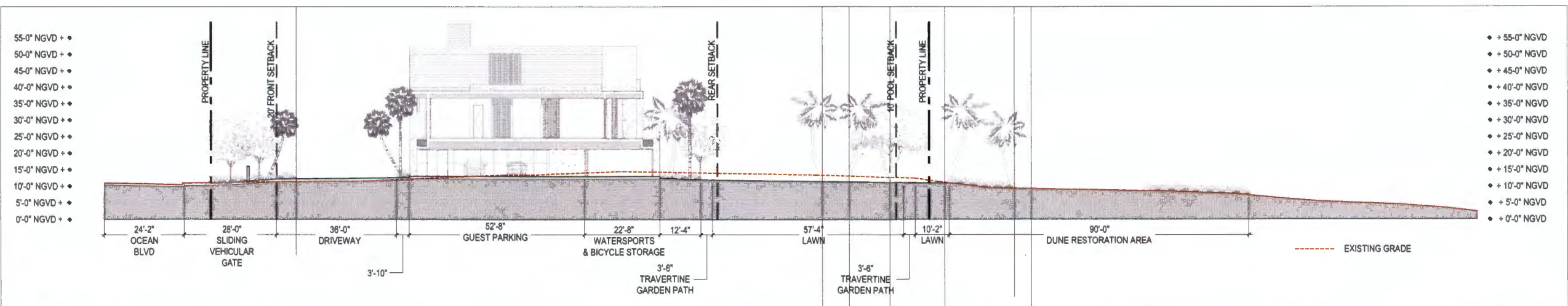


Revision Schedule		
#	DATE	DESCRIPTION

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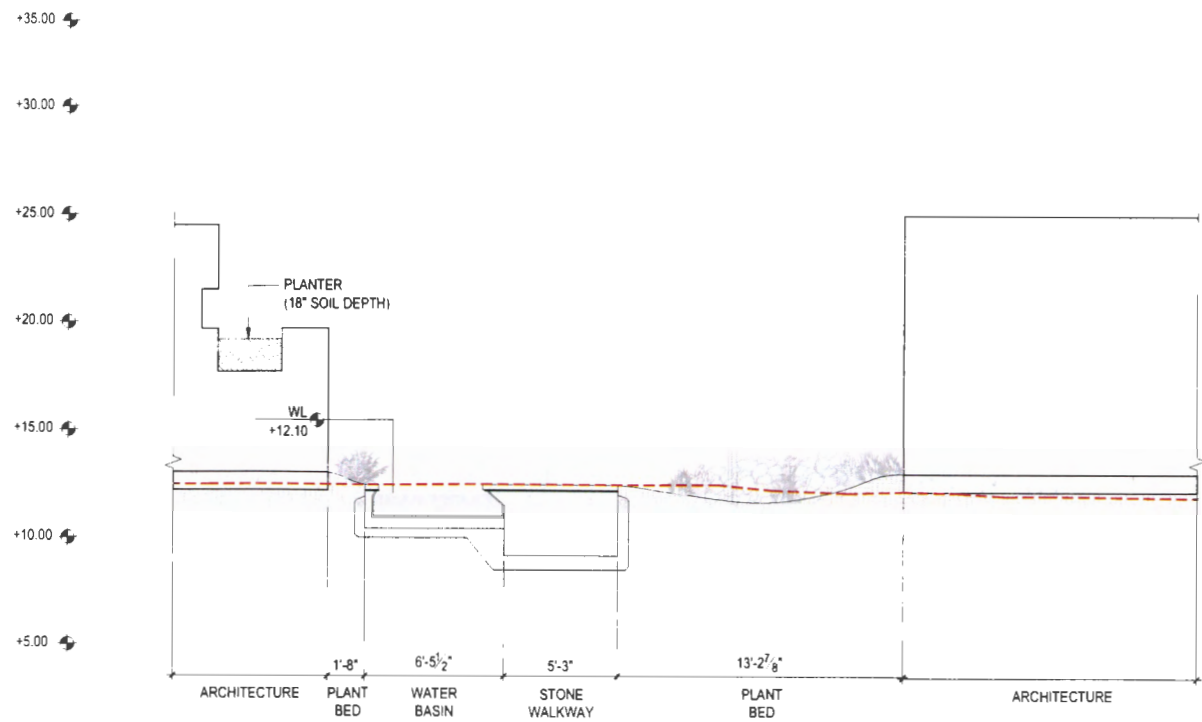


**1 SITE SECTION WEST-EAST-MIDDLE**  
Scale: 1/16" = 1'-0"

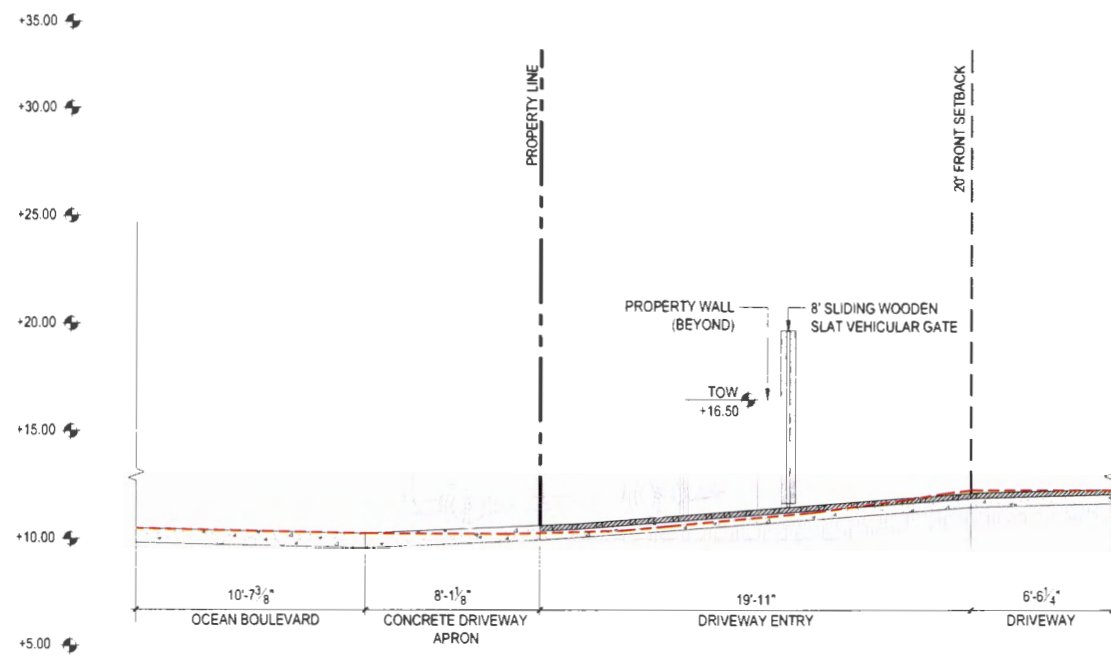


**2 SITE SECTION WEST-EAST SOUTHERN**  
Scale: 1/16" = 1'-0"

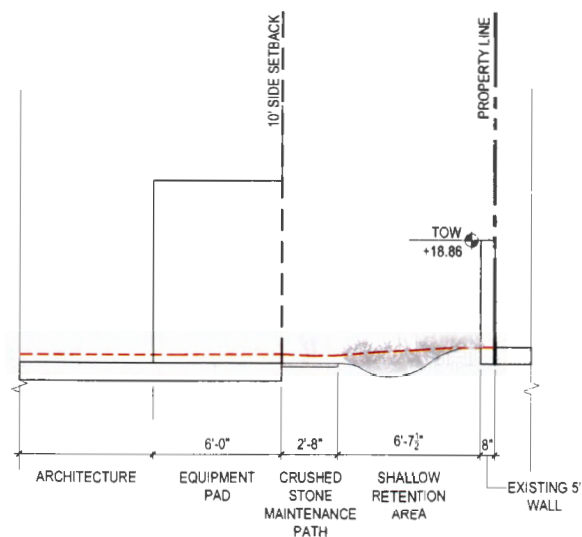




**1** COURTYARD SECTION  
Scale: 1/4" = 1'-0"



**2** NORTH DRIVEWAY SECTION  
Scale: 1/4" = 1'-0"



**3** SIDE YARD SECTION  
Scale: 1/4" = 1'-0"

**[STRANG]**

2900 SW 28TH TERRACE,  
SUITE 301, MIAMI, FL 33133  
PH: 305-373-4990  
ARCHITECT LICENSE NO. AR100970  
WWW.STRANGDESIGN.COM

**PROJECT LOCATION:**  
299 OCEAN BLVD.  
GOLDEN BEACH, FL 33160

**PROJECT CLIENT(S) / OWNER(S):**  
PHILLIP T. & SUSAN RAGON

**ARCHITECT:**  
STRANG DESIGN, LLC  
FIRM LICENSE #AA26001123  
2900 SW 28TH TERRACE  
SUITE 301, MIAMI, FL 33133  
AGR LICENSE # AR100970

**CIVIL ENGINEER:**  
COASTAL SYSTEMS  
INTERNATIONAL, INC.  
464 S. DIXIE HWY.  
CORAL GABLES, FL  
PH: 305-661-3655

**STRUCTURAL ENGINEER:**  
TBD

**MEP ENGINEER:**  
TBD

**LANDSCAPE ARCHITECT:**  
RAYMOND L. JUNGLES, INC.  
LICENSE #RLA-0856  
2964 AVIATION AVE.  
MIAMI, FL 33133  
PH: 305-858-6777

**GENERAL CONTRACTOR:**  
TBD

**PROFESSIONAL SEAL(S):**

**LANDSCAPE ARCHITECT:**  
RAYMOND L. JUNGLES  
LICENSE NO: LA0000856

**OCEAN RESIDENCE**

Issue Description:  
**DESIGN DEVELOPMENT SET**

Revision Schedule

#	DATE	DESCRIPTION

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Issue Date: **04/19/2024**

SHEET: **1/1**

**SITE SECTIONS**

SHEET NUMBER



**L401**



# STRANG

2900 SW 28TH TERRACE,  
SUITE 301, MIAMI, FL 33133  
PH: 305-373-4990  
ARCHITECT LICENSE NO. AR100970  
WWW.STRANG.DESIGN

**PROJECT LOCATION:**  
299 OCEAN BLVD,  
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FIRM LICENSE #AA26001123  
2900 SW 28TH TERRACE  
SUITE 301, MIAMI, FL 33133  
AOR LICENSE #: AR100970

**CIVIL ENGINEER:**  
COASTAL SYSTEMS  
INTERNATIONAL, INC.  
464 S DIXIE HWY,  
CORAL GABLES, FL  
PH: 305-661-3655

**STRUCTURAL ENGINEER:**  
TBD

**MEP ENGINEER:**  
TBD

**LANDSCAPE ARCHITECT:**  
RAYMOND JUNGLES, INC.  
LICENSE #RLA-0856  
2964 AVIATION AVE,  
MIAMI, FL 33133  
PH: 305-858-6777

**GENERAL CONTRACTOR**  
TBD

**PROFESSIONAL SEAL(S):**

**LANDSCAPE ARCHITECT:**  
RAYMOND L JUNGLES  
LICENSE NO: LA0000856

## OCEAN RESIDENCE

Issue Description:  
**DESIGN DEVELOPMENT SET**

Revision Schedule

#	DATE	DESCRIPTION

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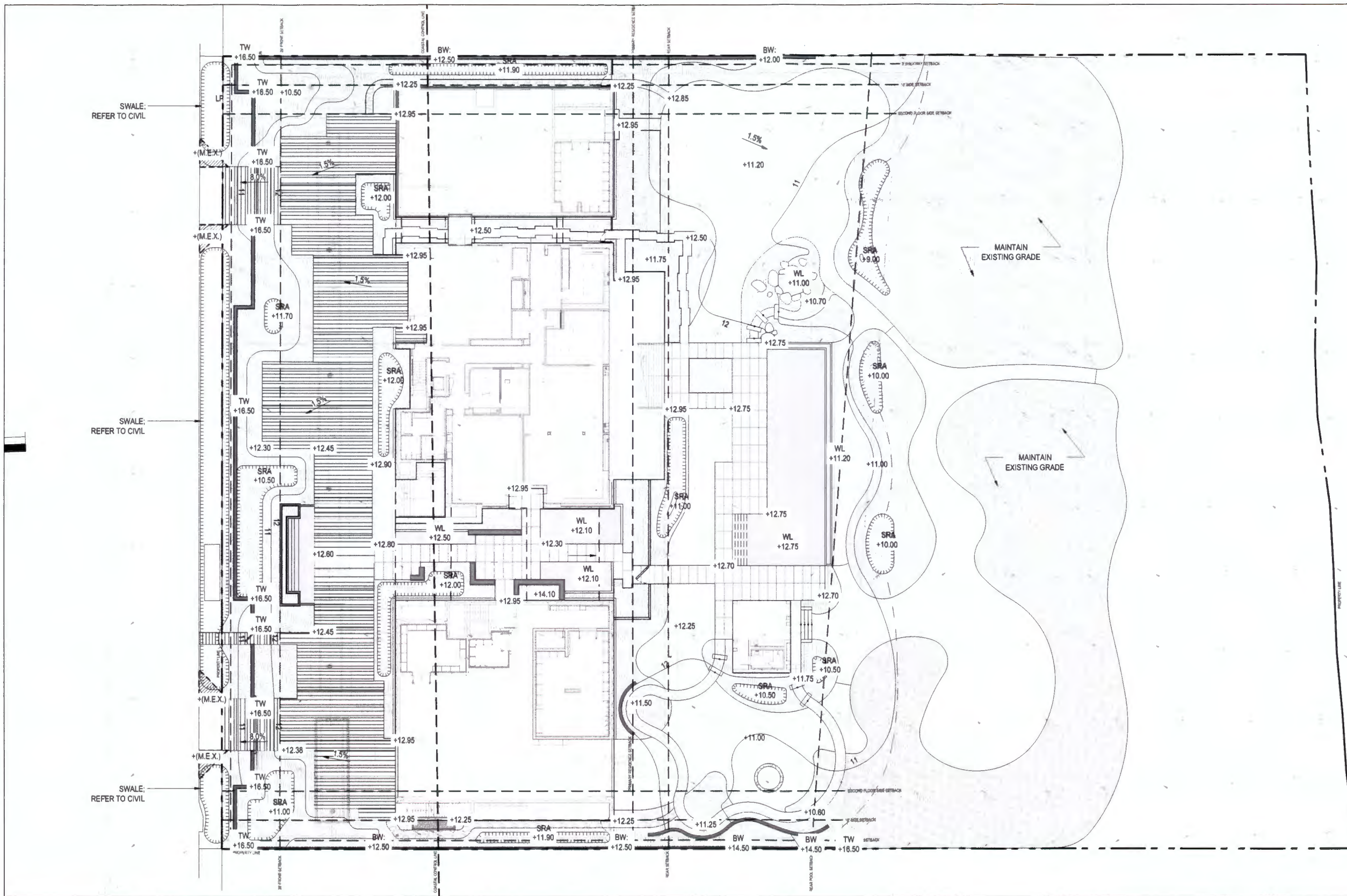
Issue Date: **04/19/2024**

SHEET TITLE

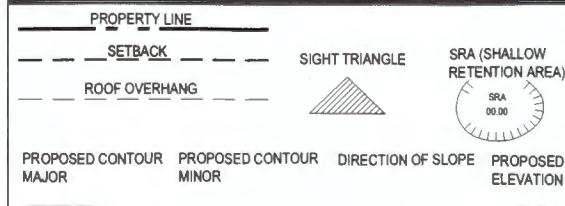
**GRADING PLAN**

SHEET NUMBER

**L600**



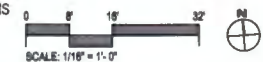
### LEGEND



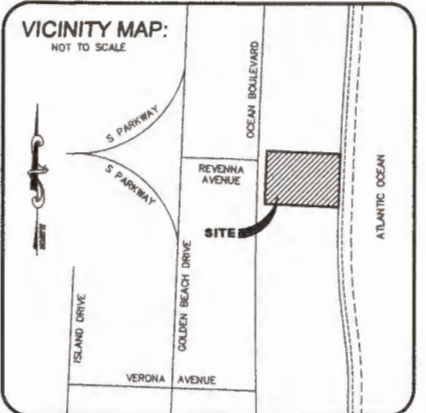
### GENERAL GRADING NOTES:

1. ALL SHALLOW RETENTION AREAS (SRA) SHALL BE GRADED GRADUALLY TO THE LOW POINT SPECIFIED ON THE PLAN. THESE AREAS WILL CATCH ON SITE WATER FOR PLANT MATERIAL, AS WELL AS CREATE THE FIRST BARRIER FOR INFILTRATION BEFORE ENTERING THE STORM WATER SYSTEM.
2. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
3. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
4. ALL SHRUBS AND GROUND COVER AREAS SHALL BE 2" BELOW FINISHED LEVEL OF ALL ADJACENT HARDSCAPE (TYPICAL).
5. ALL TURF AREAS SHALL BE FLUSH WITH ADJACENT HARDSCAPE AREAS TO ENSURE NO TRIPPING HAZARDS.
6. CONTRACTOR SHALL TEST PERCOLATION IN ALL SRA'S AND NOTIFY LANDSCAPE ARCHITECT AND CIVIL ENGINEER OF ANY ISSUES. CONTRACTOR SHALL BE RESPONSIBLE FOR PERCOLATION IN ALL AREAS.
7. CONTRACTOR SHALL MAINTAIN EROSION CONTROL THROUGHOUT THE CONSTRUCTION PROCESS. LANDSCAPE ARCHITECT TO APPROVE SITE CONDITIONS PRIOR TO REMOVAL OF THESE METHODS.
8. SURVEY PROVIDED CORRESPONDS TO LONGITUDE SURVEYORS DATED 01/20/2015. ALL EXISTING SPOT ELEVATIONS REPRESENTED IN NGVD.

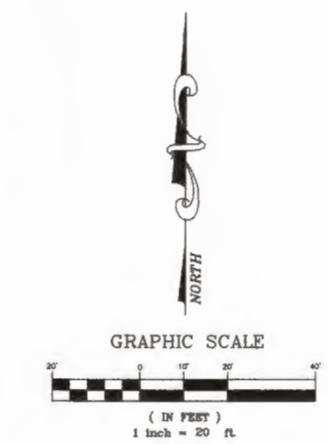
9. THIS DRAWING REPRESENTS AESTHETIC GRADING AND LANDSCAPE DRAINAGE ONLY. SEE ENGINEERING DRAWINGS FOR OVERALL SITE DRAINAGE AND GRADING. ALL BELOW GRADE CONNECTIONS AND/OR SYSTEM BY OTHERS.
10. ALL FINISH GRADING TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO PLANTING.
11. CONTRACTOR SHALL MEET ALL EXISTING GRADES SMOOTHLY AND EVENLY.
12. ALL RAINWATER SHALL BE MAINTAINED WITHIN PRIVATE PROPERTY. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SPOT ELEVATIONS IN FIELD. ALL QUANTITIES FOR MATERIALS NOTED ON GRADING PLANS SHALL BE VERIFIED BY THE CONTRACTOR BY DETAILED TAKEOFFS TO ENSURE THAT THE QUANTITIES GIVEN ARE SUFFICIENT TO FULFILL THE INTENT OF THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL FIELD VERIFY ALL AS-BUILT DIMENSIONS ON-SITE PRIOR TO BID.
14. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ON-SITE BEFORE CONSTRUCTION BEGINS.
15. NO GRADING SHALL OCCUR BENEATH THE DRIP LINE OF ANY EXISTING TREE TO REMAINELINE.



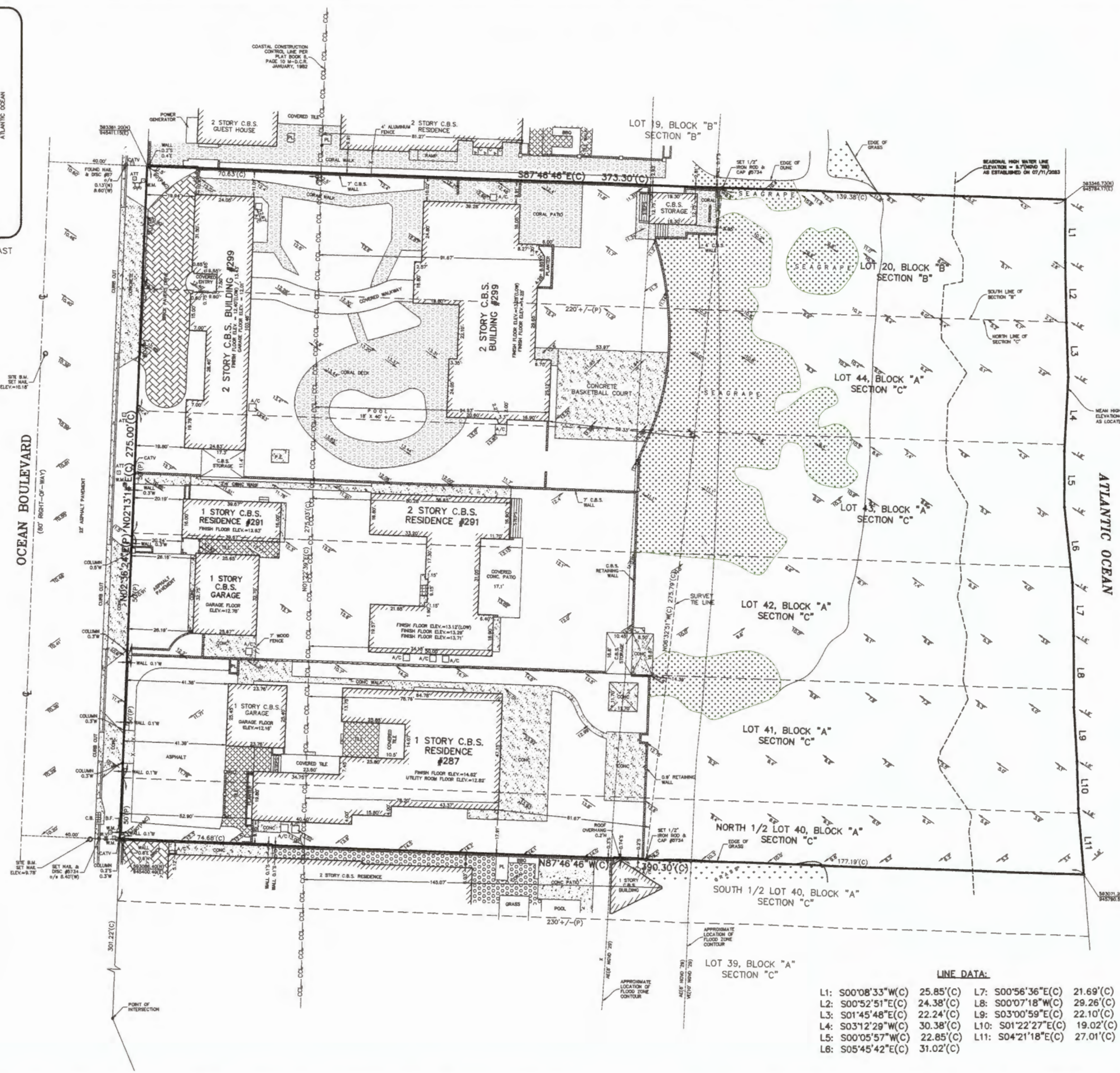




SECTION 35, TOWNSHIP 51 SOUTH, RANGE 42 EAST



- LEGEND:**
- B.M. = BENCHMARK
  - B.F. = BACK FLOW PREVENTER
  - C = CALCULATED MEASUREMENT
  - CL = CENTERLINE
  - C.B. = CHORD BEARING
  - C.B.S. = CONCRETE BLOCK STRUCTURE
  - C.L.F. = CHAIN LINK FENCE
  - C.O. = CLEAN OUT
  - CONC. = CONCRETE
  - C.L.P. = CONCRETE LIGHT POLE
  - C.R. = CABLE RISER
  - E.M. = ELECTRIC METER
  - E.S. = ELECTRIC SERVICE
  - ELEV. = ELEVATION
  - F.P.L. = FLORIDA POWER & LIGHT
  - G.A. = GUY ANCHOR
  - G.V. = GATE VALVE
  - L.P. = LIGHT POLE
  - M-D.C.R. = MIAMI-DADE COUNTY RECORDS
  - M.H. = MANHOLE
  - NAVD = NORTH AMERICAN VERTICAL DATUM
  - NGVD = NATIONAL GEODETIC VERTICAL DATUM
  - O.R.B. = OFFICIAL RECORDS BOOK
  - P = PLAT MEASUREMENT
  - P.B. = PLAT BOOK
  - P.E. = POOL EQUIPMENT
  - TYP. = TYPICAL
  - W.M. = WATER METER
  - P.P. = POWER POLE
  - AT & T = AT & T PHONE RISER
  - PL = PLANTER
  - B.F. = BACK FLOW PREVENTER
  - W.V. = WATER VALVE
  - CATV = CABLE TV RISER
  - A/C = AIR CONDITIONING UNIT
  - o/s = OFFSET
  - HC = HANDI-CAPPED PARKING
  - FD = FIRE HYDRANT
  - UP = UTILITY POLE
  - SE = SPOT ELEVATION



**PINNELL SURVEY, INC.**  
 PROFESSIONAL SURVEYORS AND MAPPERS  
 5300 WEST HILLSBORO BOULEVARD, SUITE 215-A  
 COCONUT CREEK, FLORIDA 33073  
 PHONE: (954)418-4940 FAX: (954)418-4941  
 LICENSED BUSINESS #6857

**PROJECT ADDRESS: 287, 291 & 299 OCEAN BLVD.**  
 GOLDEN BEACH, FL 33160

**CERTIFY TO:**  
 1. GREGORY M. COGAN

**LEGAL DESCRIPTION:**  
 LOT 20, BLOCK "B", OF SECTION "B" OF GOLDEN BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 52 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. TOGETHER WITH:  
 THE NORTH ONE-HALF (N. 1/2) OF LOT 40 AND ALL OF LOTS 41 THROUGH 44, BLOCK "A", OF SECTION "C" OF GOLDEN BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 52 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.  
 SAID LAND SITUATE, LYING AND BEING IN THE CITY OF GOLDEN BEACH, MIAMI-DADE COUNTY, FLORIDA AND CONTAINS 104,579 SQUARE FEET (2.4008 ACRES) MORE OR LESS.

**ENCROACHMENT NOTES:**  
 1) C.B.S. WALL CROSSES OVER THE NORTHWESTERLY PROPERTY LINE.  
 2) PRIVACY WALLS AND COLUMNS CROSS OVER THE WESTERLY PROPERTY LINE.  
 3) PRIVACY WALLS, COLUMNS AND ROOF OVERHANG CROSSES OVER THE SOUTHERLY PROPERTY LINE.

**GENERAL NOTES:**

- 1) TYPE OF SURVEY: BOUNDARY
- 2) IF THIS SURVEY HAS BEEN REVISED AS INDICATED IN THE REVISION BOX SHOWN HEREON, THEN ANY AND ALL PREVIOUS VERSIONS OF THIS SURVEY PREPARED BY PINNELL SURVEY, INC. ARE NULL & VOID.
- 3) THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, UNLESS IT HAS BEEN ELECTRONICALLY SIGNED AND SEALED.
- 4) THE PROPERTY SHOWN HEREON WAS NOT ABSTRACTED FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS OF RECORD BY PINNELL SURVEY, INC. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT DEPICTED ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY, FOR WHICH THE SUBJECT PROPERTY IS LOCATED IN.
- 5) UNLESS OTHERWISE NOTED, FIELD MEASUREMENTS ARE IN AGREEMENT WITH RECORD MEASUREMENTS.
- 6) ELEVATIONS SHOWN HEREON (IF ANY) ARE BASED ON THE NAVD 83, UNLESS OTHERWISE NOTED.
- 7) UNDERGROUND IMPROVEMENTS AND UTILITIES ARE NOT LOCATED.
- 8) FENCE AND WALL OWNERSHIP IS NOT DETERMINED.
- 9) THIS DRAWING IS THE PROPERTY OF PINNELL SURVEY, INC. AND SHALL NOT BE USED OR REPRODUCED, WHOLE OR IN PART WITHOUT WRITTEN PERMISSION & AUTHORIZATION FROM PINNELL SURVEY, INC.
- 10) ALL EASEMENTS SHOWN ON THE ATTACHED DRAWING ARE PER THE RECORD PLAT (UNLESS OTHERWISE NOTED).
- 11) BEARINGS SHOWN HEREON ARE BASED ON A CALCULATED GRID (FLORIDA EAST) BEARING OF NORTH 02°13'14" EAST ALONG THE WEST LINE LOT 20, BLOCK "B" OF SECTION "B" AND THE WEST LINE OF LOTS 40 THRU 44, BLOCK "A", OF SECTION "C" OF GOLDEN BEACH, PLAT BOOK 9, PAGE 52, MIAMI-DADE COUNTY, FLORIDA.
- 12) BY GRAPHIC PLOTTING ONLY, THE PROPERTY SHOWN HEREON IS LOCATED WITHIN A MULTIPLE FLOOD ZONE, AS SHOWN ON F.P.L.M. MAP 120842-0153-L, BEARING A MAP EFFECTIVE DATE OF 09/11/09 AND AN INDEX MAP REVISION DATE OF 09/11/09.
- 13) THE COORDINATES SHOWN AS THIS SURVEY ARE IN U.S. SURVEY FEET AND ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM BASED ON THE TRANSVERSE MERCATOR PROJECTION, EAST ZONE, NORTH AMERICAN DATUM OF 1983/1990 (NAD 83/90).
- 14) GPS OBSERVATION UTILIZING SEPTENTRIO UNIT, MODEL ALTAUS M33, REFERENCED TO HORIZONTAL STATION "7147" WAS USED IN ESTABLISHING THE CALCULATED BEARINGS AND COORDINATES AS SHOWN HEREON.
- 15) REFERENCE B.M.: MIAMI-DADE COUNTY ENGINEERING BENCHMARK, E-202, ELEVATION = 9.36(NGVD 1928)
- 16) THIS SURVEY IS BASED ON PINNELL SURVEY SKETCH NO. 23-1179 AND ELEVATION DATUM WAS CONVERTED FROM NAVD 83 TO NGVD 29 PER CITY OF GOLDEN BEACH'S REQUEST.
- 17) DATE FIELDWORK PERFORMED: 07/11/23 (FIELD BOOK 663, PAGE 29)
- 18) DRAWN BY: O.D.I. CHECKED BY: J.P.

**CERTIFICATION:**  
 THIS IS TO CERTIFY THAT I HAVE RECENTLY SURVEYED THE PROPERTY DESCRIBED IN THE FOREGOING TITLE CAPTION AND HAVE SET OR FOUND MONUMENTS AS INDICATED ON THIS SKETCH AND THAT SAID ABOVE GROUND SURVEY AND SKETCH ARE ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE UNDER RULE 53-17, FLORIDA ADMINISTRATIVE CODE, ADOPTED BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS.

JASON H. PINNELL  
 PROFESSIONAL SURVEYOR & MAPPER  
 LICENSE NO. 5734 - STATE OF FLORIDA

**REVISIONS:**

REVISION	DATE	CHECKED BY
CONVERT ELEVATIONS TO NGVD '29 (23-2107)	12/21/23	K.M.

**SHEET 1 OF 2** JOB NO.: 23-1179NG  
 THIS SURVEY IS COMPRISED OF TWO SHEETS AND ONE IS NOT FULL AND COMPLETE WITHOUT THE OTHER.



**LOCATION SKETCH:**  
FOR COASTAL CONSTRUCTION CONTROL LINE



OCEAN BOULEVARD

ATLANTIC OCEAN

SITE



NOT TO SCALE

**PINNELL SURVEY, INC.**  
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COCONUT CREEK, FLORIDA 33073  
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